

**INVITATION FOR BIDS**

**CONSTRUCTION**

**for**

**Hing Hay Park Comfort Station**

**2025 Jan 17**

**Seattle Chinatown International District  
Preservation and Development Authority**  
409 Maynard Avenue South,  
Suite P2  
Seattle, WA 98104

# **Seattle Chinatown International District Preservation and Development Authority (SCIDpda)**

## **Invitation for Bids**

for

## **Construction Contract**

for

### **Hing Hay Park Comfort Station (Phase I)**

#### **1. Introduction to RFQ**

Submittals will be received at the Seattle Chinatown International District Preservation and Development Authority (“SCIDpda”), 409 Maynard Avenue South, Seattle, Washington 98104, until 2:00 PM local time on February 5, 2025 for:

**Providing construction services for core/shell for a City of Seattle owned and operated “comfort station” at the Bush Hotel, a landmarked building, King County Parcel No. 1275150000, which is directly north of and adjacent for Hing Hay Park. The properties are more fully described and depicted in Exhibit A.**

SCIDpda is requesting bids and statements of qualifications from construction firms for a build out of the core and/or shell of the Hing Hay Park Comfort Station in the City of Seattle.

The response to this solicitation should therefore describe the specific type of experience, identify the composition of the construction team, and include resumes of all key personnel who will be assigned to the project. The response must also describe the scope of services to be provided, team organization, and management plan.

The submission should be limited to responding to the above and as further described later in this solicitation. The Project Team’s intent is to issue this RFQ, review all submitted information, short list for interview, and then make a final selection.

Firms may be asked to submit supplemental information during the review of submittals or at the interview. The proposed schedule in 2025 for design team selection is as follows:

- |                   |  |
|-------------------|--|
| 1. January 17     | Public Issuance of RFQ   |
| 2. January 30     | Mandatory site walkthrough for all interested firms at 10:00 AM PST    |
| 3. February 5     | Submittals due to SCIDpda by 2:00 PM PST (1 electronic, 3 hard copies) |
| 4. February 10    | Notice of Short-Listed Firms   |
| 5. February 12-19 | Interviews with Firms  |
| 6. February 21    | Select Firm and Negotiate contract                                     |

The remaining sections of this solicitation are organized as follows:

- Part 2 presents an overview of the project.
- Part 3 describes the required tasks of this effort.
- Part 4 describes the criteria for selecting the consultant who will perform these services.
- Part 5 delineates other conditions and requirements of this solicitation.
- Part 6 specifies the instructions for submittals.

**Please read the entire RFQ carefully prior to preparing the submittal.**

## **2. Overview of the Hing Hay Park Comfort Station (Phase I)**

### General Description

SCIDpda is seeking bids for construction of PHASE 1 of the Hing Hay Park Comfort Station. The Construction Project will take place within the real property owned by SCIDpda and known as the Bush Hotel, a landmarked building, King County Parcel No. 1275150000, which is directly north of and adjacent for Hing Hay Park. The City owns the real property known as Hing Hay Park, King County Parcel No. 5247901945, located in Seattle's Historic International District. PHASE 1 shall consist of construction of the core and/or shell of the City Facilities.

### Design Documents

Comfort Station Renovation Plans are available in Exhibit A.

### Anticipated Project Schedule

Contractor selection and contract negotiation	Q1 2025
Construction begins	Q2 2025
Project completion	Q2 or Q3 2025

### **3. Required Work Tasks**

#### Construction

PHASE 1 shall be managed by SCIDpda as the lead and performed by the contractor. The contractor's work in PHASE 1 shall consist of construction of the core and/or shell of the City's Facilities to include:

- a) Complete a survey of the future City Facilities spaces of the areas depicted in Exhibit B, the "City Facilities" that meets the standard for condominium units per RCW 64.34.232.
- b) Complete separately connected and metered utility connections including but not limited to plumbing, power, gas, data, fire sprinklers per design;
- c) Disconnection of non-shared utilities including plumbing, power, gas, data, fire sprinklers and removal of miscellaneous conduit and duct lines per design;
- d) Contract a qualified professional to assess the City Facilities for hazardous materials. A licensed contractor shall abate any identified materials that exceed permissible levels, in compliance with applicable laws, before start of demolition work.
- e) Rough finish of concrete floor slab with required power conduits, floor and plumbing drain connections to the main per design, with floor elevation and slopes compliant with ADA per design, ready to receive design flooring materials;
- f) Fire rated construction of tenant's demising walls per design, to extend from floor slab to structure above sealed with a fire rated sealant; sound insulation in tenant's demising walls, per design, to STC 45 or higher; wall stud spacing of 16" max; in-wall solid blocking where required for all wall mounted fixtures; in-wall plumbing lines with supply lines and drains at required locations; separate meter for in-wall electrical and data conduit lines with electrical boxes for junction boxes, outlets, switches; gypsum wall board, Type X, or moisture resistant (green board), 5/8" thick, unless otherwise noted in design, with smooth surface, mud and taped joints, ready to receive final texture and paint;
- g) Rough connections at ceiling, or structure above for internal plumbing, HVAC ducting, electrical and data connections and outlets.
- h) Secure Landmarks approval as applicable for exterior modifications per design and modify exterior to include lighting, door and window assemblies with hardware, finish and paint to match existing.



## 4. Criteria for Selection

In order to qualify for consideration for an interview, the respondent **must meet** the following requirements. Failure to meet all the requirements is just cause for rejection of the response by the Project Team.

**The Respondent shall specifically address, in order, each of the following requirements in the response to this RFQ:**

**Criterion #1:** The respondent must have provided construction for a similar project(s) within the past five (5) years. The submittal must identify the specific project(s) which qualify under this criterion.

**Criterion #2:** The respondent identifies and has on staff a Project Lead, a Project Manager, Project Superintendent and Lead estimator who have experience in similar projects. The submittal must include resumes for all key team members and identify their availability during the project schedule as described.

**Criterion #3:** The respondent demonstrates the ability of the team to absorb the anticipated workload during the anticipated time period for this construction effort and to provide sufficient qualified staff commensurate with the proposed schedule at all times.

**Criterion #4:** The respondent provides an example of the firm's experience with similar projects and WMBE participation on the project. It is imperative that the respondent demonstrate a strong commitment to and history of supporting WMBE and working with communities/organizations of color.

**Criterion #5:** The respondent provides a proposed scope of services which describes all work tasks and explains how the team will complete each task or work element.

**Criterion #6:** The respondent provides at least 3 references for similar projects.

**Criterion #7:** The respondent provide the following General Contractor documents:

- Current Washington State General Contractors License
- Proof of General Liability Insurance
- Current bonding capacity
- Disclosure of any claims, lawsuits or formal disputes over work or services in the past five (5) years exceeding \$50,000

**Criterion #8:** The respondent proposes a fixed fee for construction services as described above. SCIDpda and project funders will require Washington State Prevailing residential wages are paid on the project.

## **5. Other Conditions & Requirements**

- a) All submittals for this RFQ received by the Project Team shall remain valid for ninety (90) days from the date of submittal.
- b) The Project Team reserves the right to reject any or all submittals if none of the submissions are responsive to its needs.
- c) The Project Team is not liable for any cost incurred by the submitter prior to execution of the contract.
- d) Compensation for services by the selected contractor for this construction services will be negotiated with said contractor.
- e) The contract between the successful submitter and the Project Team shall include all documents mutually entered into, specifically including the contract instrument and the response to the RFQ. The contract must include, and be consistent with, the specifications and provisions stated in the RFQ.
- f) The Project Team prioritizes minority- and women-owned firms and community-based organizations to submit proposals. Women-owned firms shall be at least 51 percent owned and controlled by women, and minority-owned firms at least 51 percent owned and controlled by minority persons. Minority person shall mean any ethnic minority person who is a resident of the United States or its territories, including Asians/Pacific Islanders, persons of African descent, Hispanics, and Native Americans/Alaskan Natives. Minority- and women-owned firms shall be certified with the Washington State Office of Minority and Women's Business Enterprises.
- g) SCIDpda and project funders will require Washington State Prevailing residential wages are paid on the project.

## 6. Required Submittal Instructions

1. On the cover sheet of the response, the respondent shall list the following information of the prime consultant: firm name, address, phone number, email address, and name of contact person. The title of the submittal shall be: **Hing Hay Park Comfort Station: Proposal and Statement of Qualifications**
2. One (1) electronic and three (3) hard copies of the information to be submitted shall be prepared in accordance with, and in the order of, the format guidelines below. Failure to comply is just cause for rejection of the response by the Project Team.
3. The order of information presentations must be as follows:
4. Section 1: Response to RFQ Criteria. Specific responses to each of the eight criteria described in Part 4 of this solicitation. Submitters may include suggestions for additional tasks, innovative ideas, or alternative procedures for completing this project.
5. Section 2: Supplemental Relevant Project Descriptions. As a supplement, expand on the previously identified projects in the Criteria for Selection section. Please include a list of references for similar other projects performed by the design team.
6. **Hard copy submittals are due at SCIDpda's Main Office, 409 Maynard Avenue South, Suite P2, Seattle, Washington 98104, by no later than 2:00 PM local time on February 5, 2025.**
7. Any questions about this solicitation must be submitted in writing on the attached form to SCIDpda via email, addressed to An Huynh, Director of Community Development, at [AnH@scidpda.org](mailto:AnH@scidpda.org). Deadline for receipt of questions is 2:00 PM, local time on January 31, 2025.
8. The Project Team's response to the questions posed above will be emailed to all requesters of the RFQ by 5 PM local time on February 3, 2025.
9. The Project Team may cancel this RFQ at any time for any reason.
10. Submittals are limited to ten (10) double-sided pages for a total of twenty (20) pages.

# SHEET FOR INVITATION TO BID CLARIFICATION QUESTIONS

## Construction Contract Hing Hay Park Comfort Station

Date: _____	No. of Pages (including cover) _____
TO: An Huynh Director of Cmnty Dev. SCIDpda <b>Direct Line: 206-838-8715</b> <b>Email: <a href="mailto:AnH@scidpda.org">AnH@scidpda.org</a></b>	From: _____ _____ _____ _____ _____

Please print or type your questions here and email



# Hing Hay

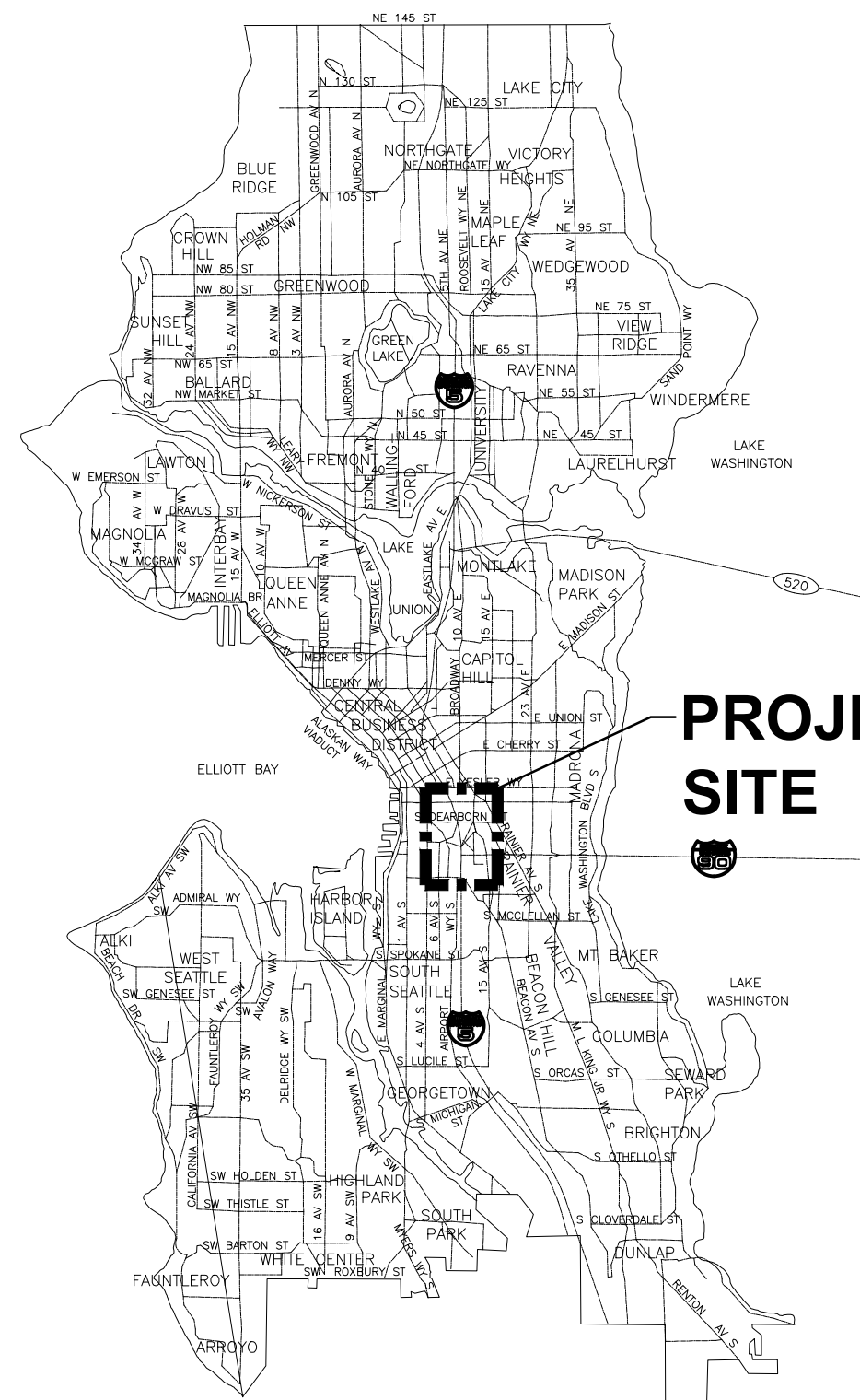
## Comfort Station Renovation

PW # 2019-086 Specification #2034 Project # PRK732453-03

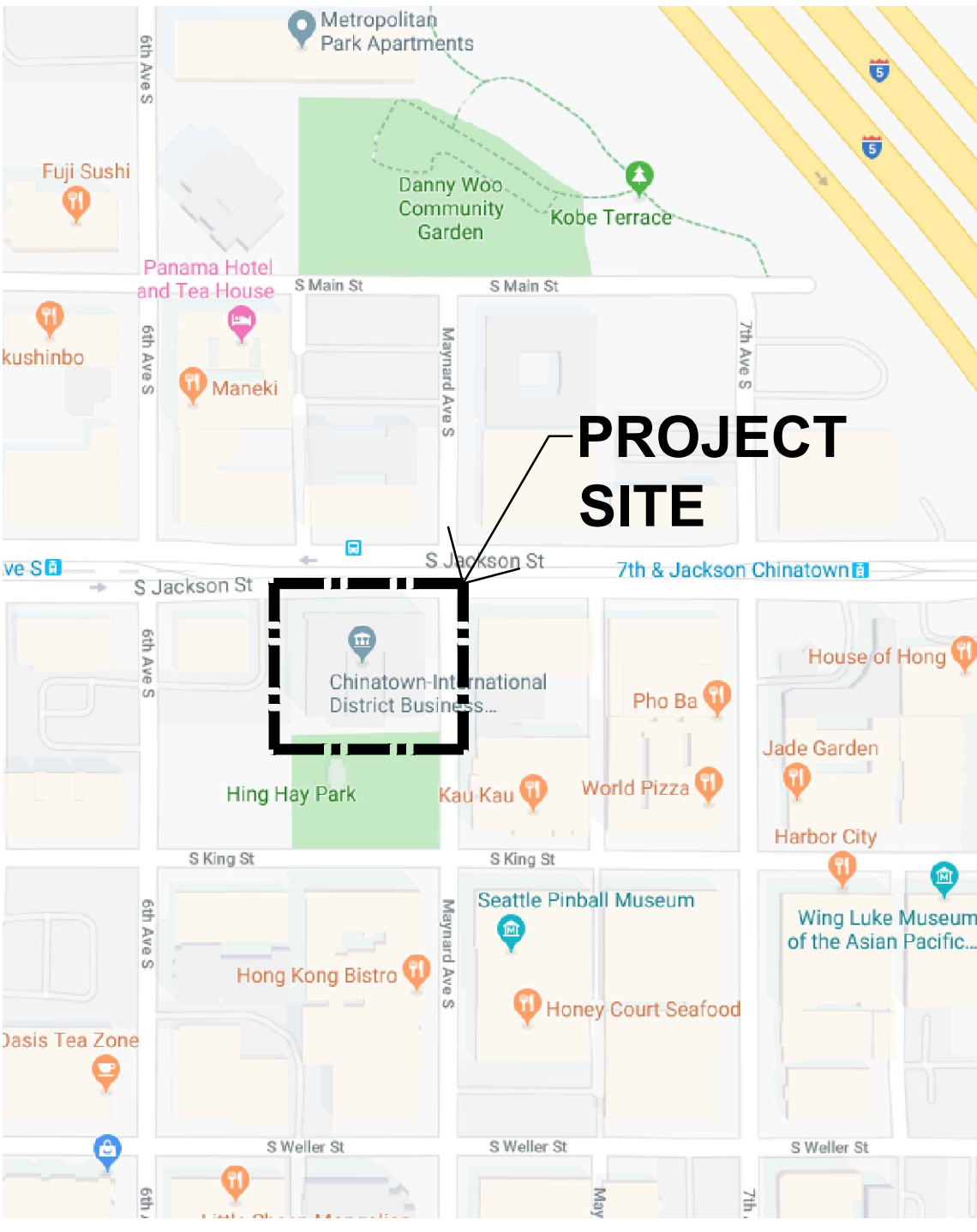
Funding Source: Seattle Parks District  
**Owner:**  
City of Seattle  
Department of Finance &  
Administrative Services,  
City Purchasing & Contracting Services

**Administering Department:**  
City of Seattle Dept. of Parks and Recreation,  
Planning & Development Division  
300 Elliott Avenue West,  
Suite 100, Seattle, WA 98119  
Project Manager: Fred Gu 206-666-7795

**ARCHITECT:**  
Rolluda Architects  
105 South Main Street, Suite 4S - Seattle, WA 98104  
Primary Contact: Susan Neaton 206-624-4222



VICINITY MAP  
CITY OF SEATTLE – NOT TO SCALE



LOCATION MAP

### STANDARD ABBREVIATIONS

Aban	Abandon(ed)	Gal	Gallon	Qty	Quantity
Adj	Adjust	GPM	Gallons Per Minute	R	Radius
ADA	Americans with Disabilities Act	Galv	Galvanize/Galvanized	RR	Railroad
AIC	Aerial Interconnect	GIP	Galvanized Iron Pipe	Rlwy	Railway
Al	Aluminum	GSP	Galvanized Steel Pipe	Reconn	Reconnect
AP	Angle Point	GM	Gas Meter	Red	Reducer
Approx	Approximate	G Reg	Gas Regulator	Ref	Refer/Reference
Asph	Asphalt	Gas V	Gas Valve	Reinf	Reinforcing/Reinforcement
ABW	Asphalt Bike Way	Gr	Grade	RCP	Reinforced Concrete Pipe
ATB	Asphalt Treated Base	Ground	Ground	Reloc	Relocate
ACV	Automatic Control Valve	GP	Guy Pole	Rem	Remove
AVB	Automatic Vacumn Breaker			R&R	Remove and Replace
Ave	Avenue	HH	Handhole	Repl	Replace
Avg	Average	HPC	High Pressure Gas	Req'd	Required
BV	Ball Valve	HPS	High Pressure Sodium	Ret	Retire(d)
BOC	Beginning of Curb	Horiz	Horizontal	Rt	Right
BO	Blow Off	Hose Bib	Hose Connection	R/W	Right of Way
BF	Bottom Face	HC	Hose Connection	RGS	Rigid Galvanized Steel
Br	Brick	Hse	House	RS	Rigid Steel
Bkhd	Bulkhead	Hyd	Hydrant	Rdwy	Roadway
BRV	Butterfly Valve			RD	Roof Drain
		In	Inch/Inches	SB	Sand Box
Cal	Cable	Inlet	Inlet	SCL	Seattle City Light
Calper	Caliper	ID	Inside Diameter	SED	Seattle Engineering Dept.
CIP	Cast Iron Pipe	IE	Invert Elevation	SWD	Seattle Water Department
CB	Catch Basin	Inv	Invert (Line)	SG	Subgrade
CL	Center Line	IP	Iron Pipe	SD	Service Drain
C—C	Center to Center	Irrg	Irrigation	Sheet	Sheet
CLF	Chain Link Fence	IRC	Irrigation Controller	SS	Side Sewer – Combined
Ch	Chamber	Irrg	Irrigation	SSS	Side Sewer – Sanitary
CI	Class	IH	Irrigation Head	Sl	Sleeve
CO	Clean Out	Jt	Joint	Spes	Spaces
Clr	Clearance	JB	Junction Box	Spec	Specification(s)
Conc	Concrete	KV	Kilovolt	SH	Sprinkler Head
CBW	Concrete Bike Way			Sq	Square
CC	Concrete Culvert	LIT	Large Inlet Top	Stl	Standard
CW	Concrete Walk	Lt	Left	Stl P	Steel Pipe
Cond	Condition	LP	Light Pole	St	Street
Cd	Conduit	LF	Lineal Feet	SDS	Street Designation Sign
Conn	Connect	Lac	Location/Locate	SLHH	Street Light Handhole
CMP	Corrugated Metal Pipe	Mh	Manhole	SNS	Street Name Sign
Cont	Continuous	MCV	Manual Control Valve	Struct	Structural/Structure
Or	Cross	MDV	Manual Drain Valve	SL	Survey Line
Cu Ft	Cubic Feet	MJ	Maximum		
Cu Yd	Cubic Yard	Max	Maximum	T	Tee
Culv	Culvert	Mx	Mechanical Joint	Tel	Telephone
C&G	Curb and Gutter	MVL	Mercury Vapor Light	Tcb	Telephone Cable
CR	Curb Radius	Min	Minimum	Tcd	Telephone Conduit
		Misc	Miscellaneous	TC	Top of Curb
Dept	Department	ML	Monument Line	THH	Telephone Handhole
Dia	Diameter	NIC	Not In Contract	TVcb	Television Cable
DB	Direct Burial Cable	NTS	Not To Scale	TVHH	Television Handhole
DGV	District Gate Valve	No.	Number	Temp	Temporary
DCV	Double Check Valve			TH	Testhole
Dwy	Driveway	OC	On Center	TF	Top Face
DIF	Ductile Iron Pipe	OD	Outside Diameter	Tr	Traffic
				TrCb	Traffic Cable
Ea	Each	Pav	Pavement	TrCd	Traffic Conduit
Esmt	Easement	PPB	Pedestrian Push Button	TCHH	Traffic Handhole
Ecc	Eccentric	PDP	Perforated Drain Pipe	TrSB	Traffic Signal Box
Elec	Electric/Electrical	PDS	Pipe Sewer Combined	TrSP	Traffic Signal Pole
ECb	Electric Cable	PSS	Pipe Sewer Sanitary	XP	Transmission Pole
ECd	Electric Conduit	PSD	Pipe Storm Drain	Typ	Typical
ED	Electric Duct	PSDD	Pipe Storm Drain Detention		
EMH	Electric Manhole	PE	Plain End	Vch	Valve Chamber
EV	Electric Vault	PL	Plate	V/Var	Variable
El	Elevation	PCC	Point of Compound Curvature	Vert	Vertical
Elev	Elevation	PC	Point of Curvature	VB	Valve Box
Encl	Enclosure	PI	Point of Intersection	V/C	Vertical Curve
EOC	End of Curb	PRC	Point of Reverse Curve		
Eq	Equal	PT	Point of Tangency	W	Water
Ex	Existing	PVC	Polyvinyl Chloride	WM	Water Meter
Exp	Expansion	PBS	Pounds Per Square Inch	WCR	Wheel Chair Ramp
		PPL	Power Pole	w/	With
Ft	Feet	PP	Power Pole with Light	WP	Wood Pole
FLP	Field Light Pole	PRV	Pressure Reducing Valve	WSP	Wood Stave Pipe
Fig	Figure	PVB	Pressure Vacumn Breaker		
FF	Finished Floor				
FG	Finish Grade				

### ARCHITECTURAL ABBREVIATIONS

ABE	AVERAGE BUILDING ELEVATION	MECH	MECHANICAL
A/C	AIR CONDITIONER	MEZZ	MEZZANINE
ADA	AMERICANS WITH DISABILITIES ACT	MFG	MANUFACTURING
ADJ	ADJUSTABLE, ADJACENT, ADJOINING	MFR	MANUFACTURER
ADMIN	ADMINISTRATION	MH	MANHOLE
ACT	ACOUSTIC CEILING TILE	MIN	MINIMUM
AFF	ABOVE FINISH FLOOR	MISC	MISCELLANEOUS
AFG	ABOVE FINISH GRADE	MO	MASONRY OPENING
ALUM	ALUMINUM	MR	MOISTURE RESISTANT
ANOD	ANODIZED	MT	MOUNT
APPRO	APPROXIMATE	MTL	METAL
ALT	ALTERNATE	NIC	NOT IN CONTRACT
ASR	AUTOMATIC SPRINKLER RISER	NOM	NOMINAL
BD	BOARD	NTS	NOT TO SCALE
BFF	BOTTOM OF FINISH FLOOR	OC	ON CENTER
BFG	BOTTOM OF FINISH GRADE	OH	OVERHEAD
BLDG	BUILDING	OPP	OPPOSITE
BLKHD	BULKHEAD	O/	OVER
BO	BOTTOM OF	PERP	PERPENDICULAR
BTW	BETWEEN	PL	PLATE
CIP	CAST IN PLACE	P—LAM	PLASTIC LAMINATE
CJ	CONTROL JOINT, CONSTR JOINT	PLUMB	PLUMBING
CMU	CENTER LINE	PNL	PANEL
CMU	CONCRETE MASONRY UNIT	PROJ	PROJECT
CONC	CONCRETE	PRV	PRESSURE REDUCING VALVE
CONT	CONTINUOUS	PT	PAINTED
CONSTR	CONSTRUCTION	QTY	QUANTITY
CONTR	CONTRACTOR	R	RADIUS
CPT	CARPET	RD	ROOF DRAIN
CT	CERAMIC TILE	REC'D	RECEIVED
D	DEEP, DEPTH	REF	REFRIGERATOR, REFERENCE
DF	DRINKING FOUNTAIN	REINF	REINFORCED
DIM	DIMENSION	REQ'D	REQUIRED
DS	DOWNSPOUT	RF	RUBBER FLOORING
DWG	DRAWING	RL	RAIN LEADER
EK	CATCH BASIN	RO	ROUGH OPENING
ELEV	CAST IRON	ROW	RIGHT OF WAY
ELEC	CAST IN PLACE	RR	RESTROOM
EJ	EXPANSION JOINT	SC	SOLID CORE
EQ	EQUAL	SCHED	SCHEDULE
EXIS	EXISTING	SF	SQUARE FOOT
EXP	EXPANSION	SG	SAFETY GLASS
EXT	EXTERIOR	SHT	SHEET
FOIC	FURNISH BY CONTR, INSTALL BY CONTR	SIM	SIMILAR
FDN	FOUNDATION	SPEC	SPECIFICATION
FE	FIRE EXTINGUISHER	SQ	SQUARE
FEC	FIRE EXTINGUISHER CABINET	SS	STAINLESS STEEL, SIDE SEWER
FF	FLOOR FINISH, FACTORY FINISH	STD	STANDARD
FOIC	FURNISH BY OWNER, INSTALL BY CONTR	STL	STEEL
FOIO	FURNISH BY OWNER, INSTALL BY OWNER	STRUCT	STRUCTURE, STRUCTURAL
FPFD	FROST PROOF DRINKING FOUNTAIN	SUSP	SUSPENDED
FRPB	FIBER REINFORCED PANEL	SYS	SYSTEM
FTG	FOOTING	T	TEMPERED, TREAD, TOP
GA	GAUGE	TB	TOP AND BOTTOM
GALV	GALVANIZED	TEL	TELEPHONE
GC	GENERAL CONTRACTOR	TEMP	TEMPERED
GLP	GYPSPUM LATH & PLASTER	TG	TONGUE AND GROOVE
GNB	GYPSPUM WALL BOARD	TO	TOP OF
H	ANODIZED	TP	TYPICAL
HB	HOSE BIBB	UNO	UNLESS NOTED OTHERWISE
HOM	HOLLOW METAL	UTL	UTILITY
HORIZ	HORIZONTAL	VCT	VINYL COMPOSITION TILE
HT	HEIGHT	VERT	VERTICAL
INS	INSULATED	VIF	VERIFY IN FIELD
JT	JOINT	W/	WITH
L	LONG, LENGTH	W/O	WITHOUT
LAM	LAMINATE, LAMINATED	WMAT	WALK OFF MAT
LF	LINEAR FOOT	WR	WATER RESISTANT
LVL	LEVEL	WRB	WATER RESISTANT BARRIER
LW	LIGHT WEIGHT	WT	WEIGHT
MAS	MASONRY	WWF	WELDED WIRE FABRIC
MAX	MAXIMUM	WWM	WELDED WIRE MESH
MBS	METAL BUILDING SUPPLIER	YO	YARD DRAIN

### PROJECT NOTES

- STANDARDS AND REGULATIONS:
- CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS, AND SIMILAR STANDARDS.
  - CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL WEEKLY UPDATE THE ENGINEER REGARDING THE STATUS OF INSPECTIONS.
  - CONTRACTOR SHALL COORDINATE WORK WITH APPLICABLE UTILITY PROVIDERS.
  - CONTRACTOR SHALL BE FAMILIAR WITH REQUIREMENTS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH REFERENCED FIRE-RATED ASSEMBLY TESTS AND STANDARDS.
- ADMINISTRATION OF THE WORK:
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, AND SEQUENCES OF CONSTRUCTION AND DIMENSIONS.
  - CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL, AUTHORIZED VISITORS AT THE SITE, AND ALL SITE SAFETY & SECURITY.
  - CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH CONDITIONS RELATED TO THE WORK. ANY KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND THE ACTUAL CONDITIONS SHALL BE REPORTED TO THE ENGINEER FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK AS DETERMINED AND DIRECTED BY THE ENGINEER TO THE DISCREPANCY. CONSTRUCTION BASE PRICE SHALL REFLECT MOST EXPENSIVE OPTION, UNO.
  - CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER FOR DETAILS RELATING TO THE REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF TRAVEL, USE OF STAIRS AND ELEVATORS, REMOVAL OF WINDOWS, LOCATION OF CHUTES AND DUMPSTERS, ETC., PRIOR TO REMOVAL OF DEBRIS. CONTRACTOR SHALL CLEAN AND REPAIR ANY DAMAGES TO EXISTING ITEMS SOLED OR DAMAGED BY THE DEBRIS REMOVAL PROCESS. IF CLEANING AND/OR REPAIR DOES NOT RETURN ITEMS TO ORIGINAL CONDITION CONTRACTOR SHALL INSTALL NEW ITEMS AS DIRECTED & APPROVED BY ENGINEER.
  - CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH SCIDpsa AND SPR PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.
  - EACH INSTALLER SHALL EXAMINE ALL SUBSTRATE CONDITIONS AND/OR SITE CONDITIONS WHICH AFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSTALLATION, THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED. INSTALLATION SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS.
  - CONTRACTOR SHALL MAINTAIN APPROVED CONSTRUCTION DRAWINGS ON THE SITE AT ALL TIMES. CONTRACTOR SHALL MAINTAIN AND UPDATE AS-BUILT DRAWINGS DAILY.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.
  - CONTRACTOR SHALL LAY OUT ALL WORK AS SOON AS POSSIBLE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
  - THE BUILDING IS AN OCCUPIED AND ACTIVE STRUCTURE. ALL WORK MUST BE COORDINATED AND APPROVED BY THE PARK ENGINEER TO MINIMIZE IMPACTS TO THE BUILDING OPERATION.
  - INTERRUPTIONS TO BUILDING UTILITIES MUST BE SCHEDULED IN ADVANCE WITH A MINIMUM 72 HOUR WRITTEN NOTICE TO ENGINEER

### USE OF CONSTRUCTION DOCUMENTS:

- DO NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE USED. CONTACT THE ENGINEER IF CLARIFICATION OR ADDITIONAL INFORMATION IS REQUIRED.
- THE DRAWINGS ARE SCHEMATIC IN NATURE. MODIFICATIONS IN DUCTS, PIPING, CONDUIT AND WIRING MAY BE REQUIRED TO ACCOMMODATE ACTUAL FIELD CONDITIONS.
- DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS.
- DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:
  - TO FACE OF STUD.
  - TO CENTERLINE OF COLUMNS.
  - TO TOP OF FLOOR SLAB.
  - TO BOTTOM OF FINISHED CEILING.
  - TO FACE OF MASONRY.

### DEFINITIONS:

- "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE AND/OR TO INSTALL NEW CONSTRUCTION ADJACENT TO EXISTING CONSTRUCTION WITHOUT ANY VISIBLE JOINTS OR SURFACE IRREGULARITIES.
- "CLEAR" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT. CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE.
- "MAXIMUM" OR "MAX" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN APPROVAL OF THE ARCHITECT.
- "MINIMUM" OR "MIN" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.
- "TYPICAL" OR "TYP" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION OR DIMENSION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT.
- "±" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE DIMENSION OR QUALITY IS SLIGHTLY ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS. FIELD VERIFICATION AND COORDINATION WITH OTHER ELEMENTS MIGHT BE NECESSARY.

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### BASE BID & ALTERNATES

BASE BID: ALL WORK AS OUTLINED IN DRAWINGS UNLESS NOTED AS:

- ADDITIVE 1 (NOT USED)
- ADDITIVE 2

### PROJECT INFORMATION

PROPERTY NAME:  
THE BUSH HOTEL  
PROJECT ADDRESS:  
409 MAYNARD AVENUE SOUTH SEATTLE, WA 98104  
LEGAL DESCRIPTION:  
THE BUSH HOTEL, CONDOMINIUM (VOL.68 PAGES 14--22) LOTS 7 & 8, BLOCK 41, TOWN OF SEATTLE AS LAID OUT BY D.S. MAYNARD, COMMONLY KNOWN AS D.S. MAYNARD'S PLAT OF SEATTLE, ACCORDING TO PLAT RECORDED IN VOLUME 1 OF PLATS, PAGE 23, IN KING COUNTY, WASHINGTON; EXCEPT THE NORTH 15 FEET THEREOF CONDEMNED IN KING COUNTY SUPERIOR COURT CAUSE NO. 56407, FOR THE WIDENING OF JACKSON STREET AS PROVIDED BY ORDINANCE NO. 1291 OF THE CITY OF SEATTLE; TOGETHER WITH THE VACATED ALLEY ADJOINING SAID PREMISES ON THE WEST.  
KING COUNTY PARCEL NUMBER:  
1275100020 & 1275100010

### PROJECT INFORMATION

LAND USE CODE NOTES:  
IDM 75'-85' EXISTING USE:  
OVERLAY DISTRICT: INTERNATIONAL  
SPECIAL REVIEW DISTRICT  
APPLICABLE CODES:  
2015 SEATTLE EXISTING BUILDING CODE  
2015 SEATTLE BUILDING CODE  
2010 AMERICAN W/ DISABILITIES ACT (ADA)  
ANSI 117.1-2009  
WASHINGTON STATE WAC 50.51

DESCRIPTION OF WORK:  
MINOR RENOVATIONS TO EXISTING OFFICE AND STORAGE. NEW RESTROOM. REPLACE DOORS, PAINTING, LIGHTING, CASEWORK, MINOR ELECTRICAL & HVAC.

BUILDING CONSTRUCTION INFORMATION:  
BUILDING YEAR: 1910  
CONSTRUCTION TYPE: II FR  
OCCUPANCY CLASS:  
SPRINKLER SYSTEM: YES

### APPROVED FOR ADVERTISING:

Liz Alzeer  
Purchasing & Contracting  
Seattle, Washington \_\_\_\_\_ 20\_\_\_\_\_  
Date  
Signature: \_\_\_\_\_  
Director, Purchasing & Contracting  
3  
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1  
NO. REVISION – AS BUILT DATE  
REVIEWED: \_\_\_\_\_ DATE  
PARK ENGINEER  
All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.

rolluda architects  
architecture planning interior design

### 90% REVIEW

6250  
REGISTERED ARCHITECT  
Alex E. Rolluda  
STATE OF WASHINGTON

Seattle  
Parks & Recreation

### HING HAY

### COMFORT STATION RENOVATION

### COVER PAGE

DESIGNED <u>SN</u>	DATE <u>2/5/2024</u>
DRAWN <u>AS</u>	
CHECKED <u>SN</u>	SHEET <u>1</u> OF <u>22</u>
ORDINANCE NO. 124927	<b>G-001</b>
CONTRACT NO. 2034	
SCALE <u>NOT TO SCALE</u>	



GENERAL NOTES

- GENERAL NOTES
1. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF SEATTLE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION; THE CITY OF SEATTLE STANDARD PLANS, CURRENT EDITION; AND SEATTLE TRANSPORTATION (SDOT), DIRECTOR'S RULE 05-2009 FOR STREET AND SIDEWALK PAVEMENT OPENING AND RESTORATION. A COPY OF THESE DOCUMENTS SHALL BE ON SITE DURING CONSTRUCTION.

2. A COPY OF THE APPROVED PLAN MUST BE ON SITE WHENEVER CONSTRUCTION IS IN PROGRESS.

3. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR WORK WITHIN THE PUBLIC RIGHT OF WAY.

4. PRIOR TO ANY CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE PARK ENGINEER. THE CONTRACTOR SHALL NOTIFY THE OWNER'S PROFESSIONAL ENGINEERING CONSULTANT OF THE PRE-CONSTRUCTION MEETING TIME AND LOCATION.

5. PAVED SURFACES INCLUDING ROADWAYS, SIDEWALKS, AND CURBS THAT ARE DAMAGED BY CONSTRUCTION SHALL BE REPAIRED AS REQUIRED BY THE SDOT STREET USE INSPECTOR OR PARK ENGINEER.

6. DATUM: HORIZONTAL: WANZ NAD 83/91, VERTICAL: NAVD-88 AS ESTABLISHED BY THE SITE SURVEY. TOPOGRAPHIC SURVEY IS BY DEPT OF PARKS LAND SURVEYORS.

7. ALL SURVEYING AND STAKING OF IMPROVEMENTS IN THE PUBLIC RIGHT OF WAY IS TO BE PROVIDED BY THE CITY OF SEATTLE AT OWNER'S EXPENSE.

8. THE CONTRACTOR SHALL NOTIFY THE SEATTLE FIRE DEPARTMENT DISPATCHER (386-1495) TWENTY-FOUR (24) HOURS IN ADVANCE OF ALL WATER SERVICE INTERRUPTIONS, HYDRANT SHUTOFFS, AND STREET CLOSURES OR OTHER ACCESS BLOCKAGE. THE CONTRACTOR SHALL ALSO NOTIFY THE DISPATCHER OF ALL NEW, LOCATED, OR ELIMINATED HYDRANTS RESULTING FROM THIS WORK.

9. ALL LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.

10. THE CONTRACTOR SHALL LOCATE AND PROTECT ALL CASTINGS AND UTILITIES DURING CONSTRUCTION AND SHALL CONTACT THE UNDERGROUND UTILITIES LOCATOR SERVICE (1-800-424-5555) AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.

11. THE CONTRACTOR SHALL ADJUST ALL EXISTING MANHOLE RIMS, DRAINAGE STRUCTURE LIDS, VALVE BOXES, AND UTILITY ACCESS STRUCTURES TO FINISH GRADE WITHIN AREAS AFFECTED BY THE PROPOSED IMPROVEMENTS.

12. UTILITY SERVICE CONNECTIONS SHOWN ON THIS PLAN ARE TO BE MAINTAINED BY THE DEPARTMENT OF PARKS.

13. THE CONTRACTOR SHALL PROVIDE FOR ALL COMPACTION TESTS REQUIRED BY THE STREET USE INSPECTOR OR PARKS ENGINEER. BACKFILL MATERIAL USED IN PUBLIC RIGHT-OF-WAY SHALL MEET STD SPECS. AND SHALL BE APPROVED BY SDOT OR PARKS ENGINEER.

15. INSPECTION AND ACCEPTANCE OF ALL WORK IN STREET RIGHTS-OF-WAY WILL BE ACCOMPLISHED BY REPRESENTATIVES OF THE CITY OF SEATTLE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND SCHEDULE APPROPRIATE INSPECTIONS, ALLOWING PROPER ADVANCE NOTICE. THE INSPECTOR MAY REQUIRE RECONSTRUCTION OF ITEMS THAT DO NOT MEET CITY STANDARDS OR THAT WERE CONSTRUCTED WITHOUT INSPECTION.

16. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE TRAFFIC CONTROL MANUAL. A TRAFFIC CONTROL PLAN WILL BE REQUIRED PRIOR TO ISSUANCE OF PERMIT.

17. ALL WORK PERFORMED BY SEATTLE CITY LIGHT, SEATTLE WATER, AND OTHER PUBLIC UTILITIES TO REMOVE OR RELOCATE EXISTING UTILITIES SHALL BE DONE AT THE PERMITTEE'S EXPENSE.

18. CARE SHALL BE EXERCISED WHEN EXCAVATING NEAR EXISTING CHARGED WATER MAINS.

19. CONTRACTOR SHALL NOTIFY KING COUNTY TRANSIT AT (206) 684-2732 SEVEN DAYS IN ADVANCE OF ANY IMPACT TO TRANSIT OPERATIONS.

20. CONTRACTOR SHALL CONTACT SDOT LANDSCAPE ARCHITECTS OFFICE AT 684-8733 FOR APPROVAL OF STREET TREE SPECIES SUBSTITUTIONS AND THEN INSPECTION OF TREES TWO DAYS PRIOR TO PLANTING.

GENERAL SEWER & DRAINAGE NOTES

UNLESS OTHERWISE SPECIFIED:

1. PIPE LESS THAN 12" DIAMETER SHALL BE PVC OR PER CITY OF SEATTLE STANDARDS.

2. DUCTILE IRON PIPE SHALL BE PER ANSI A21.51 CLASS 50 WITH PUSH-ON JOINTS. FITTINGS FOR DUCTILE IRON PIPE SHALL BE DUCTILE PER ANSI A21.10 OR ANSI A21.53 WITH PUSH-ON JOINTS. GLANDS ON MECHANICAL JOINT PIPE AND FITTINGS SHALL BE DUCTILE.

3. PVC PIPE AND FITTINGS SHALL BE PER ASTM D3034, SDR35 WITH RUBBER GASKET JOINTS. PVC PIPE FOR PSS AND PSD SHALL BE TESTED FOR EXCESSIVE DEFLECTION WITH A MANDREL PER SECTION 7-17.3(4) OF THE SPECIFICATIONS.

4. SUBSURFACE DRAIN (SSD) PIPE AND FITTINGS SHALL BE PVC PER ASTM D2241 SDR21 (CLASS 200) WITH RUBBER GASKET JOINTS. PIPE SHALL HAVE SLOTTED PERFORATIONS. SLOTS ARE TO BE 0.040" WIDE 1.0" LONG AND SPACED 0.25" APART. SLOT LOCATIONS SHALL BE LOCATED PER DETAIL ON PLAN.

5. BEDDING SHALL BE CLASS B FOR ALL PIPE EXCEPT DUCTILE IRON PIPE, WHICH SHALL BE CLASS D. BEDDING MATERIAL FOR PVC PIPE AND CMP SHALL BE MINERAL AGGREGATE TYPE 22. BEDDING MATERIAL FOR PVC PIPE AND CMP SHALL BE MECHANICALLY COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS MEASURED BY ASTM D-698.

6. TEES ON NEW PIPE LESS THAN 24" DIAMETER SHALL BE PREFABRICATED. TEES ON EXISTING PIPE OR ON NEW PIPE WITHOUT PREFABRICATED TEES SHALL BE CONNECTED BY CORE DRILLING AND FLEXIBLE CONNECTION. SEE SPECIFICATIONS.

7. TEES, CATCH BASIN CONNECTIONS, SIDE SEWERS, AND SERVICE DRAINS SHALL BE PLACED AT A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 50%. INLET CONNECTIONS SHALL BE PLACED AT A MINIMUM SLOPE OF 5% AND A MAXIMUM SLOPE OF 50%.

8. RECONNECTION OF EXISTING CATCH BASINS SHALL INCLUDE NEW TRAPS, CONNECTION TO STORM DRAINS, AND REMOVAL OF EXISTING TRAPS.

9. SERVICE DRAINS AND SIDE SEWERS SHALL BE CONNECTED OR RECONNECTED AS APPROVED BY THE INSPECTOR OR PARKS ENGINEER.

10. RELAY EXISTING SERVICE DRAINS AND SIDE SEWERS TO CLEAR OVER OR UNDER THE NEW UTILITY AS APPROVED BY THE PARKS ENGINEER.

11. WHERE A NEW PIPE CLEARS AN EXISTING OR NEW UTILITY BY 6" OR LESS, POLYETHYLENE PLASTIC FOAM SHALL BE PLACED AS A CUSHION BETWEEN THE UTILITIES.

GENERAL SURVEY NOTES

1. NO WARRANTY OR GUARANTEE OF ACCURACY OR COMPLETENESS IS EITHER IMPLIED OR EXPRESSED FOR EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS SHOWN ON THESE CONSTRUCTION DOCUMENTS. THEY ARE PROVIDED HEREIN FOR THE PURPOSE OF ASSISTING THE CONTRACTOR IN LOCATING SAID UTILITIES AND IMPROVEMENTS IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING WITH APPROPRIATE AGENCIES THAT
- MAY HAVE UNDERGROUND UTILITIES AND IMPROVEMENTS WITHIN THE PROJECT LIMITS AND FOR CHECKING LOCATIONS IN THE FIELD. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE TO UNDERGROUND UTILITIES AND IMPROVEMENTS RESULTING FROM HIS OPERATION.
- GENERAL WATER SERVICES NOTES
1. DOMESTIC WATER SERVICE LINES SHALL BE INSTALLED WITH A MINIMUM OF 24" OF COVER.

2. ALL WATER SERVICE PIPING ON PROPERTY MUST BE INSPECTED PRIOR TO BACKFILLING TRENCH.

3. FOR INFORMATION AND INSPECTION, PHONE WATER SERVICE AT 684-5800. COORDINATE WITH PARKS PLUMBING SHOP.

4. COORDINATE WORK WITH SPU AND PARKS PLUMBING SHOP.
- GENERAL CONSTRUCTION EROSION / SEDIMENTATION (ESC) NOTES
1. CONSTRUCTION EROSION CONTROL MEASURES MUST BE IN PLACE AND APPROVED BY THE PARKS ENGINEER PRIOR TO ANY EARTH DISTURBANCE. CALL 206/684-8860 TO SCHEDULE AN INSPECTION APPOINTMENT FOR THIS TIME.

2. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY SEDIMENTATION COLLECTION FACILITIES TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE NATURAL OR PUBLIC DRAINAGE SYSTEM. AS CONSTRUCTION PROGRESSES AND UNEXPECTED (SEASONAL) CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL OF THE PROJECT. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES THAT MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES.

3. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.

4. IF THE BOUNDARIES OF THE ENVIRONMENTALLY CRITICAL AREA LIMITS ARE SHOWN ON THE PLANS, THEY SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.

5. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS.

6. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G. ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS.

7. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.

8. ANY AREA STRIPPED OF VEGETATION, INCLUDING ROADWAY EMBANKMENTS, WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 15 DAYS, SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G. SEEDING, MULCHING, NETTING, EROSION BLANKETS, ETC.).

9. ANY AREA NEEDING ESC MEASURE, NOT REQUIRING IMMEDIATE ATTENTION, SHALL BE ADDRESSED WITHIN FIFTEEN (15) DAYS.

10. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A STORM EVENT.
11. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.

12. STABILIZED CONSTRUCTION ENTRANCES AND WASH PADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

13. WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (E.G. ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE).

14. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF TWO INCHES.

15. PROVIDE PERMANENT EROSION CONTROL SYSTEM. LANDSCAPE ALL EXPOSED EARTH SURFACES WITH SUITABLE VEGETATION TO PREVENT EROSION. (25.09.060C.2)
- GENERAL EROSION CONTROL CONSTRUCTION SEQUENCE
1. ARRANGE AND ATTEND PRE-CONSTRUCTION MEETING WITH OWNER OR OWNER'S REP. AND SEATTLE DCI SITE INSPECTOR OR PARKS ENGINEER.

2. CONTRACTOR'S SURVEYOR TO ESTABLISH AND STAKE OUT CONTROL POINTS FOR WORK.

3. ERECT STRAW WATTLES, SILT FENCE, AND INLET PROTECTION.

4. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.

5. CLEAR AND GRUB AREA.

6. REMOVE EXISTING PAVEMENT, SURFACE FEATURES AND MISCELLANEOUS ITEMS AS NOTED.

7. COORDINATE REMOVAL AND CAPPING OF EXISTING UTILITY LINES WITH APPROPRIATE PURVEYOR.

8. GRADE SITE PER PLAN.

9. STABILIZE GRADED AREAS WITH TEMPORARY EROSION CONTROL MEASURES AS REQUIRED.

10. CONSTRUCT SITE IMPROVEMENTS.

11. MULCH REMAINING DISTURBED AREAS AND COORDINATE WITH FINAL PAVING AND PLANTING.

12. RETURN SILTATION CONTROL AREAS TO ORIGINAL GROUND CONDITIONS.

13. REMOVE REMAINING TEMPORARY EROSION/SEDIMENTATION CONTROL ONLY AFTER SITE HAS BEEN STABILIZED AND CITY OF SEATTLE DCI SITE INSPECTOR OR PARKS ENGINEER HAS APPROVED THE REMOVAL.
- GENERAL DEMOLITION NOTES
1. SALVAGEABLE OR RE-USABLE ITEMS ENCOUNTERED IN THE FIELD BUT NOT IDENTIFIED ON THIS PLAN SHALL BE OFFERED TO THE ENGINEER FOR SALVAGE PRIOR TO DISPOSAL. IF DECLINED BY ENGINEER, ALL DEMOLISHED ITEMS SHALL BE DISPOSED OF LEGALLY OFF SITE.

2. PROTECT ALL FACILITIES NOT IDENTIFIED FOR DEMOLITION INCLUDING BUT NOT LIMITED TO: BURIED ELECTRICAL LINES, IRRIGATION SYSTEM, STORM SEWER LINES, TELEPHONE LINES, CATCH BASINS, TREES, FENCING, FURNITURE, ETC.

3. KEEP ALL WALKWAYS CLEAR AND FREE OF DEBRIS. VEGETATED AND PAVED SURFACES THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AT NO COST TO THE ENGINEER.

4. COORDINATE DEMOLITION OF ELECTRICAL, LIGHTING AND IRRIGATION SYSTEM ELEMENTS WITH NEW ELECTRICAL, LIGHTING AND IRRIGATION SYSTEMS PER PLANS AND SPECIFICATIONS.

5. DEMOLISH ONLY TO EXTENT REQUIRED TO ACCOMMODATE THE WORK OF THE CONTRACT.
- REFERENCE SYMBOLS
- SEE INDIVIDUAL SHEET LEGENDS FOR FURTHER SYMBOL DEFINITIONS
- SECTION #

SHEET #

BUILDING SECTION INDICATOR

SECTION #

SHEET #

SECTION INDICATOR

DETAIL #

SHEET #

DETAIL INDICATOR

SECTION DETAIL INDICATOR

SHEET #

SECTION DETAIL INDICATOR

ENLARGED DETAIL/PLAN INDICATOR

SHEET #

ENLARGED DETAIL/PLAN INDICATOR

COLUMN GRIDLINE INDICATOR

KEYNOTE

WALL TYPE

FINISH TYPE

EQUIPMENT TAG

DOOR NUMBER

WINDOW NUMBER

ROOM NAME

0000

ROOM NAME & NUMBER INDICATOR

NORTH ARROW

INTERIOR ELEVATION INDICATOR

DRAWING REVISION INDICATOR

PLAN DESIGNATIONS

EXISTING WALL/DOOR TO REMAIN (LIGHT LINES)

WALL/DOOR TO BE DEMOLISHED (DASHED)

NEW WALL/DOOR
- >>>>CAUTION - CALL 811<<<<  
UTILITY NOTIFICATION CENTER  
BEFORE YOU DIG!  
WWW.CALL811.COM
- Also, verify all underground utilities not located by the 811 service by using a commercial location service and call SPR Inspection Request Line (206) 684-7034.
1. SEE APPLICABLE CODES UNDER G-001, BUILDING CODE INFORMATION FOR ACCESSIBILITY REQUIREMENTS. MOST RESTRICTIVE REQUIREMENT APPLIES, UNO.

2. ACCESSIBILITY DETAILS SHOWN ARE TYPICAL AND NOT ALL-INCLUSIVE. DETAILS SHOWN SHALL BE USED WHERE ACCESSIBLE WORK IS IDENTIFIED IN THESE DOCUMENTS. CONTRACTOR SHALL THOROUGHLY REVIEW THESE DOCUMENTS. SHOULD ANY CONFLICTS IN THESE DOCUMENTS ARISE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING PRIOR TO PURCHASE, INSTALLATION, AND CONSTRUCTION OF ANY ELEMENT OF THE WORK.

3. DIMENSIONS ARE IN INCHES, UNO.

4. CONTRACTOR TO FIELD VERIFY DIMENSIONS SHOWN TO ENSURE CONSTRUCTION WILL COMPLY WITH NOTED DIMENSIONS AND REQUIREMENTS. ANTICIPATE CONSTRUCTION TOLERANCES AND MATERIALS AND FINISHES THICKNESSES. NOTIFY ENGINEER IN WRITING IF THERE ARE ANY CONFLICTS PRIOR TO START OF CONSTRUCTION.

5. DRAWINGS. THE DRAWINGS ARE INTENDED TO DESCRIBE THE OVERALL SCOPE OF WORK. CONTRACTORS SHALL FIELD VERIFY EXISTING CONDITIONS AND ALERT THE ENGINEER TO ANY CONFLICTS BEFORE BEGINNING WORK.

6. (E) OR 'EXIST' INDICATES EXISTING CONDITION, DIMENSION OR DATUM. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON PROJECT PRIOR TO COMMENCEMENT OF WORK.

7. TYPICAL WALL SECTIONS, FINISHES, AND DETAILS ARE NOT INDICATED EVERYWHERE THEY OCCUR ON PLANS, ELEVATIONS, AND SECTIONS. REFER TO DETAILED DRAWINGS. CONTRACTOR TO PROVIDE AS IF DRAWN IN FULL.

8. DETAILED AND/OR LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER GENERAL AND SMALLER SCALE DRAWINGS.

9. UNLESS OTHERWISE NOTED, ALL ANGLES TO BE RIGHT ANGLES. ALL LINES WHICH APPEAR PARALLEL ARE TO BE PARALLEL, AND ALL ITEMS WHICH APPEAR CENTERED ARE TO BE CENTERED. CONTRACTOR TO BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE, LEVEL, PLUMB, AND SQUARE.

10. NOTHING IN THE DRAWINGS SHALL BE CONSTRUED TO PERMIT AN INSTALLATION IN VIOLATION OF APPLICABLE CODES. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES, REGULATIONS, RESTRICTIONS, REQUIREMENTS, AND CODES OF THE GOVERNING JURISDICTIONS.

11. CONTRACTOR TO COORDINATE ALL OPERATIONS WITH THE ENGINEER, INCLUDING: SITE ACCESS, MATERIALS STORAGE, AND STAGING, INTERRUPTION OF ELECTRICAL AND MECHANICAL SERVICES AND TIMING OF NOISY AND DISRUPTIVE OPERATIONS. CONTRACTOR TO VERIFY SEQUENCE OF WORK WITH ENGINEER.

12. CONTRACTOR TO PROTECT EXISTING BUILDING + SITE. CONTRACTOR TO REPLACE IN KIND ANY SUCH ITEMS DAMAGED AS DIRECTED BY THE ENGINEER.

13. CONTRACTOR SHALL PROTECT ALL OPENINGS FROM WATER PENETRATION DURING CONSTRUCTION.

14. REPAIR, PATCH, AND PAINT ALL SURFACES SCHEDULED TO REMAIN OR MODIFIED THAT ARE DAMAGED OR AFFECTED BY WORK AS DIRECTED AND APPROVED BY THE ENGINEER.

15. REMOVE ALL FLOOR FINISHES AND BASES AS REQUIRED TO ACCEPT NEW FINISHES. PATCH REPAIR AND/OR LEVEL EXISTING FLOORS ARE REQUIRED TO ACCEPT NEW FINISHES.
- |     |                     |      |
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| NO. | REVISION – AS BUILT | DATE |
- REVIEWED: \_\_\_\_\_  
PARK ENGINEER DATE

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- rolluda architects  
architecture planning interior design
- 90% REVIEW

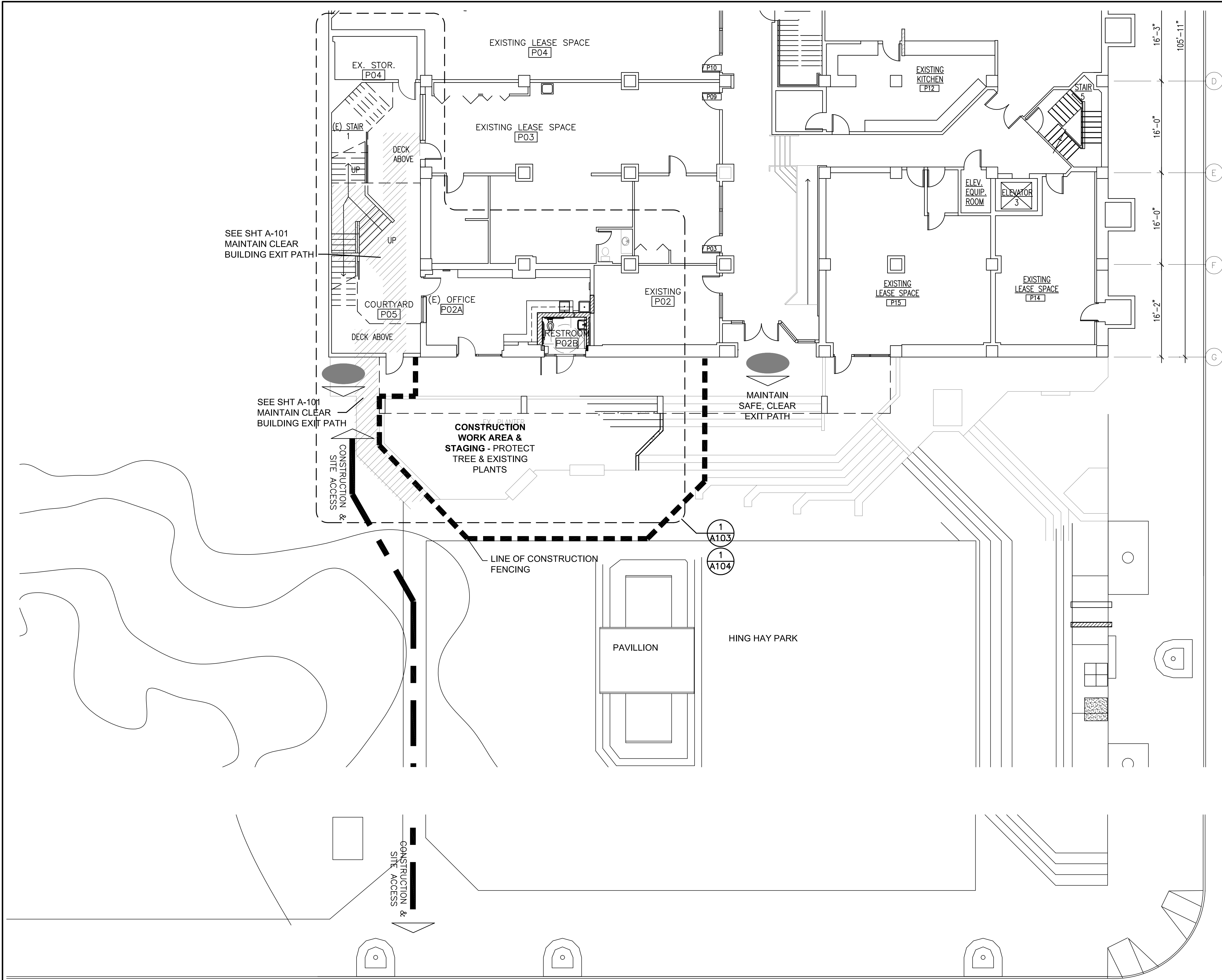
6250

REGISTERED ARCHITECT

Alex E. Rolluda  
STATE OF WASHINGTON
- Seattle  
Parks & Recreation
- HING HAY

COMFORT STATION  
RENOVATION  
GENERAL NOTES,  
SYMBOLS
- |                               |                             |
|-------------------------------|-----------------------------|
| DESIGNED <u>SN</u>            | DATE <u>2/5/2024</u>        |
| DRAWN <u>SN/AS</u>            | SHEET <u>2</u> OF <u>23</u> |
| CHECKED <u>AR</u>             |                             |
| ORDINANCE NO. <u>124927</u>   | <b>G-002</b>                |
| SPECIFICATION NO. <u>2034</u> |                             |
| SCALE <u>NTS</u>              |                             |





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- CONTRACTOR TO PROTECT EXISTING BUILDING + SITE. CONTRACTOR TO REPLACE IN KIND ANY SUCH ITEMS DAMAGED AS DIRECTED BY THE ENGINEER.
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- REPAIR, PATCH, AND PAINT ALL SURFACES SCHEDULED TO REMAIN OR MODIFIED THAT ARE DAMAGED OR AFFECTED BY WORK AS DIRECTED AND APPROVED BY THE ENGINEER.
- REMOVE ALL FLOOR FINISHES AND BASES AS REQUIRED TO ACCEPT NEW FINISHES. PATCH REPAIR AND/OR LEVEL EXISTING FLOORS ARE REQUIRED TO ACCEPT NEW FINISHES.

NO.	REVISION - AS BUILT	DATE
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architecture planning interior design

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**COMFORT STATION  
RENOVATION**

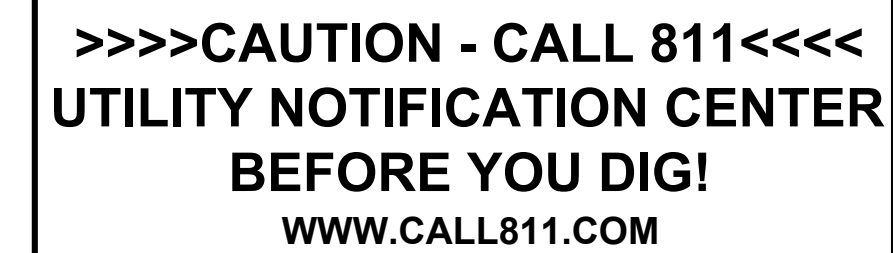
**STAGING PLAN**

DESIGNED	SN	DATE	2/5/2024
DRAWN	SN/AS		
CHECKED	AR	SHEET	3 OF 23
ORDINANCE NO.	124927		
SPECIFICATION NO.	2034		
SCALE	1/8" = 1'-0"		


**1 STAGING PLAN**  
SCALE: 1/8" = 1'-0"







3. SEE APPLICABLE CODES UNDER 0-001, BUILDING CODE INFORMATION FOR ACCESSIBILITY REQUIREMENTS, MOST RESTRICTIVE REQUIREMENT APPLIES, UNDO.
2. ACCESSIBILITY DETAILS SHOWN ARE TYPICAL AND NOT ALL-INCLUSIVE. DETAILS SHOWN SHOULD BE USED AS A GUIDE. CONTRACTOR SHALL PROVIDE ALL ACCESSIBILITY DOCUMENTS. CONTRACTOR SHALL THOROUGHLY REVIEW THESE DETAILS. SHOULD ANY CONFLICTS IN THESE DOCUMENTS ARISE, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO PURCHASE, INSTALLATION, AND CONSTRUCTION OF ANY ELEMENT OF THE WORK.
3. DIMENSIONS ARE IN INCHES, UNDO.
4. CONTRACTOR SHALL TAKE PRECAUTIONS SHOWN TO ENSURE CONSTRUCTION WILL COMPLY WITH NOTED DIMENSIONS AND REQUIREMENTS, ANTICIPATE CONSTRUCTION TOLERANCES AND MATERIALS AND FINISHES THICKNESSES. NOTIFY ENGINEER IN WRITING IF THERE ARE ANY CONFLICTS PRIOR TO START OF CONSTRUCTION.
5. DRAWINGS. THE DRAWINGS ARE INTENDED TO DESCRIBE THE OVERALL SCOPE OF WORK. CONTRACTORS SHALL FIELD VERIFY EXISTING CONDITIONS AND ALERT THE ENGINEER TO ANY CONFLICTS BEFORE BEGINNING WORK.
6. (E) OR "EXIST" INDICATES EXISTING CONDITION, DIMENSION OR MATERIAL. VERIFY ALL CONDITIONS AND ALERT THE ENGINEER TO ANY CONFLICTS BEFORE BEGINNING WORK.
7. TYPICAL WALL SECTIONS, FINISHES, AND DETAILS ARE NOT INDICATED EVERYWHERE. SEE DETAILS FOR PLUMB, ELEVATIONS, AND SECTIONS. REFER TO DETAIL DRAWINGS. CONTRACTOR TO PROVIDE AS IF DRAWN IN FULL.
8. DETAILED AND/OR LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER GENERAL SCALE DRAWINGS.
9. UNLESS OTHERWISE NOTED, ALL ANGLES TO BE RIGHT ANGLES, ALL LINES WHICH APPEAR PARALLEL ARE TO BE PARALLEL, AND ALL LINES WHICH APPEAR PERPENDICULAR ARE TO BE PERPENDICULAR. CONTRACTOR TO BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE, LEVEL, PLUMB, AND SQUARE.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR BEING CONSTRUCTED TO PERMIT AN INSTALLATION IN VIOLATION OF APPLICABLE CODES. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES, REGULATIONS, SPECIFICATIONS, REQUIREMENTS, AND CODES OF THE GOVERNING JURISDICTIONS.
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14. REPAIR, PATCH, AND PAINT ALL SURFACES SCHEDULED TO REMAIN OR MODIFIED AS A RESULT OF THE PROJECT. ALL WORK AS DIRECTED AND APPROVED BY THE ENGINEER.
15. REMOVE ALL FLOOR FINISHES AND BASES AS REQUIRED TO EXPOSE NEW FINISHES. CONTRACTOR SHALL PROTECT ALL EXISTING FLOORS ARE REQUIRED TO ACCEPT NEW FINISHES.

	PERMIT RESPONSE	11/21/23
NO.	REVISION — AS BUILT	DATE

REVIEWED: \_\_\_\_\_ DATE \_\_\_\_\_  
PARK ENGINEER

All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.

## 90% REVIEW

6250

REGISTERED  
ARCHITECT

*Alex E. Rolluda*

Alex E. Rolluda

STATE OF WASHINGTON

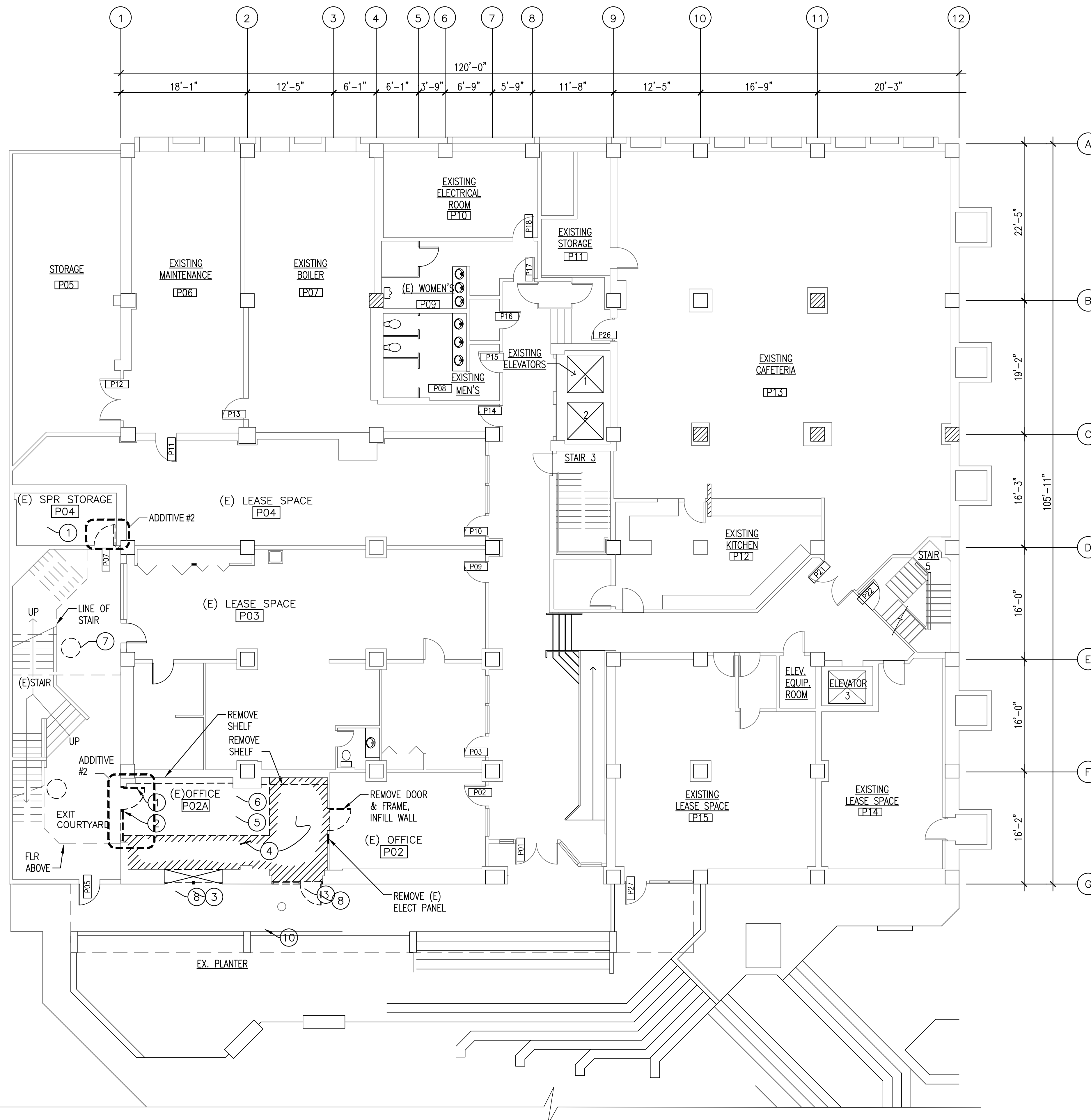


**HING HAY**

## COMFORT STATION RENOVATION

## DEMOLITION PLAN

DESIGNED	SN	DATE	2/5/2024
DRAWN	SN/AS	SHEET	4 OF 23
CHECKED	AR		
ORDINANCE NO. 124927		<b>AD101</b>	
SPECIFICATION NO. 2034			
SCALE 1/8" = 1'-0"			



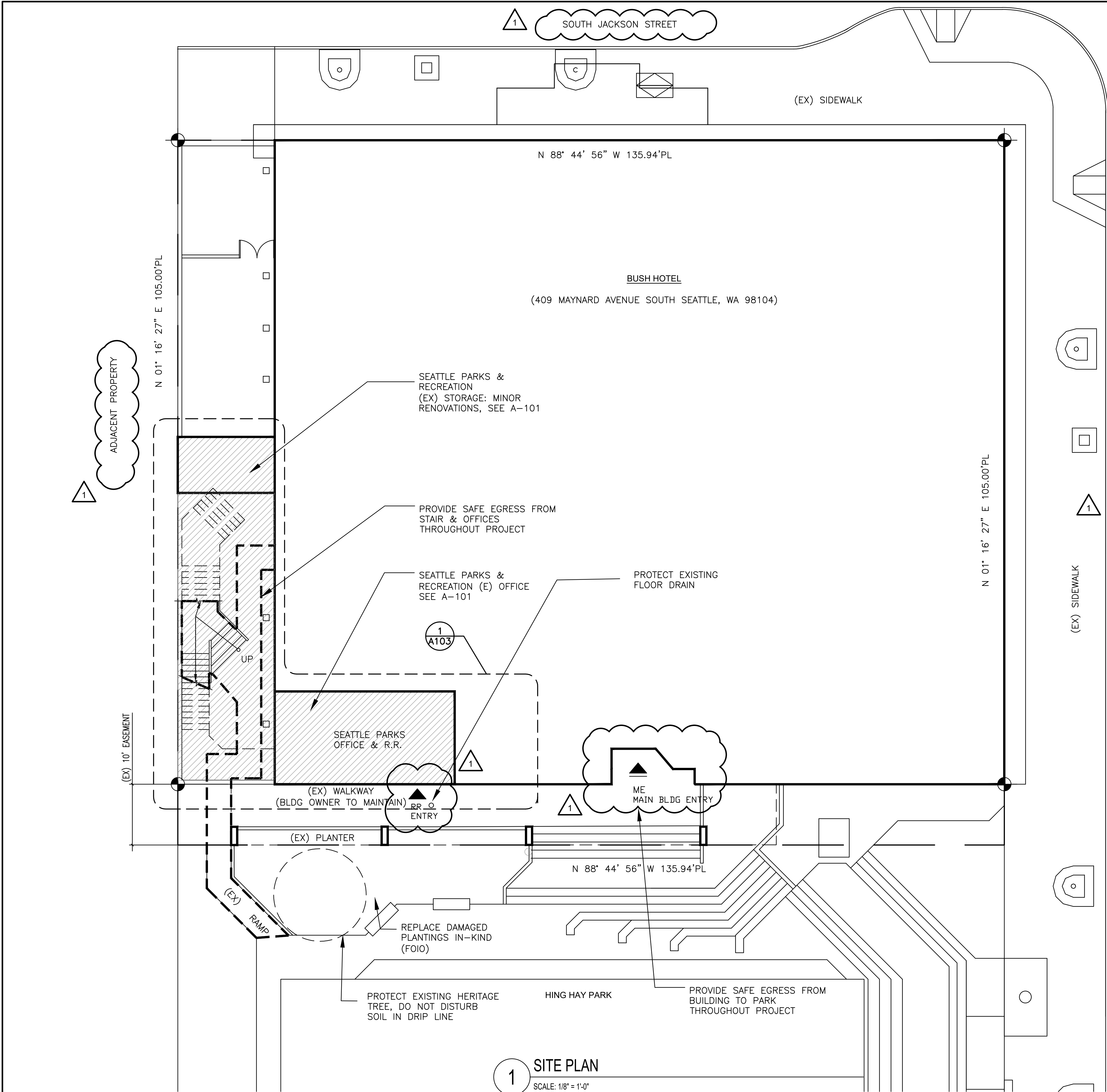
DEMOLITION NOTES

ADDITIVE #1 (NOT USED)  
ADDITIVE #2

- 1 ADDITIVE #2: REMOVE DOOR AND FRAME AS REQUIRED BY DETAILS AND FOR NEW DOOR
- 2 ADDITIVE #2: REMOVE GLAZING AND STOPS. PREPARE FOR NEW GLAZING
- 3 SAWCUT & REMOVE 18" H CONCRETE & WALL FLUSH TO FLOOR. PREPARE FOR FINISH FLOORING
- 4 SAWCUT AND REMOVE CONCRETE SLAB. COORDINATE W/ PLUMBING. LOCATE (E) SAN SEWER. SOIL BENEATH CONCRETE FLOOR WILL BE TREATED AS CONTAMINATED AND WILL BE STOCKPILED FOR TESTING AND DISPOSAL
- 5 REMOVE SUSPENDED CEILING TILES. REMOVE LOOSE PAINT ABOVE SUSP. CEILING
- 6 REMOVE VINYL FLOOR TILE & ADHESIVE
- 7 REMOVE PLANTER. REMOVE IRRIGATION SYSTEM TO SOURCE
- 8 SEE DETAILS. REMOVE WINDOW & DOOR FRAMES AS REQUIRED FOR NEW WORK. SAWCUT AND REMOVE WALL FOR NEW DOOR.
- 9 NOT USED
- 10 PROTECT FLOOR DRAIN

1 LOWER LEVEL DEMO PLAN  
1/8" = 1'-0"





BUILDING OWNER:  
SCIDPDA  
409 MAYNARD AVE S  
SEATTLE, WA 98104

PROJECT/CONDO OWNER:  
SEATTLE PARKS RECREATION  
300 ELLIOTT AVE W, SUITE 1  
SEATTLE, WA 98119



LEGAL DESCRIPTION:  
THE BUSH HOTEL, CONDOMINIUM (VOL.68 PAGES 14-22)  
LOTS 7 & 8, BLOCK 41, TOWN OF SEATTLE AS LAID  
OUT BY D.S. MAYNARD, COMMONLY KNOWN AS D.S.  
MAYNARD'S PLAT OF SEATTLE, ACCORDING TO PLAT  
RECORDED IN VOLUME 1 OF PLATS, PAGE 23, IN KING  
COUNTRY, WASHINGTON± EXCEPT THE NORTH 15 FEET  
THEREOF CONDEMNED IN KING COUNTRY SUPERIOR  
COURT CAUSE NO. 56407, FOR THE WIDENING OF  
JACKSON STREET AS PROVIDED BY ORDINANCE NO. 1291  
OF THE CITY OF SEATTLE± TOGETHER WITH THE VACATED  
ALLEY ADJOINING SAID PREMISES ON THE WEST.

KING COUNTY PARCEL NUMBER:  
1275100020 & 1275100010

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UTILITY NOTIFICATION CENTER  
BEFORE YOU DIG!

WWW.CALL811.COM  
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△	PERMIT RESPONSE	9/22/20
NO.	REVISION - AS BUILT	DATE

REVIEWED: \_\_\_\_\_  
PARK ENGINEER DATE  
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rolluda architects  
architecture planning interior design

90% REVIEW

6250  
REGISTERED ARCHITECT  
Alex E. Rolluda  
STATE OF WASHINGTON



HING HAY

COMFORT STATION  
RENOVATION

SITE PLAN

DESIGNED	SN	DATE	2/5/2024
DRAWN	SN/AS		
CHECKED	AR	SHEET	5 OF 23
ORDINANCE NO.	124927		
SPECIFICATION NO.	2034		
SCALE	1/8" = 1'-0"		

A-101



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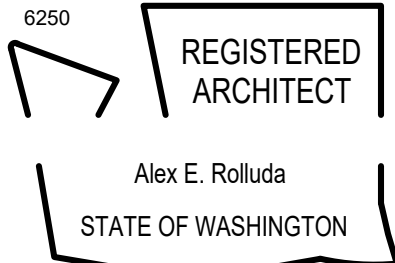
NO.	REVISION	AS BUILT	DATE
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REVIEWED: \_\_\_\_\_  
PARK ENGINEER DATE

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Plans and Specifications in effect on the date shown above, and  
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**rolluda architects**  
architecture planning interior design

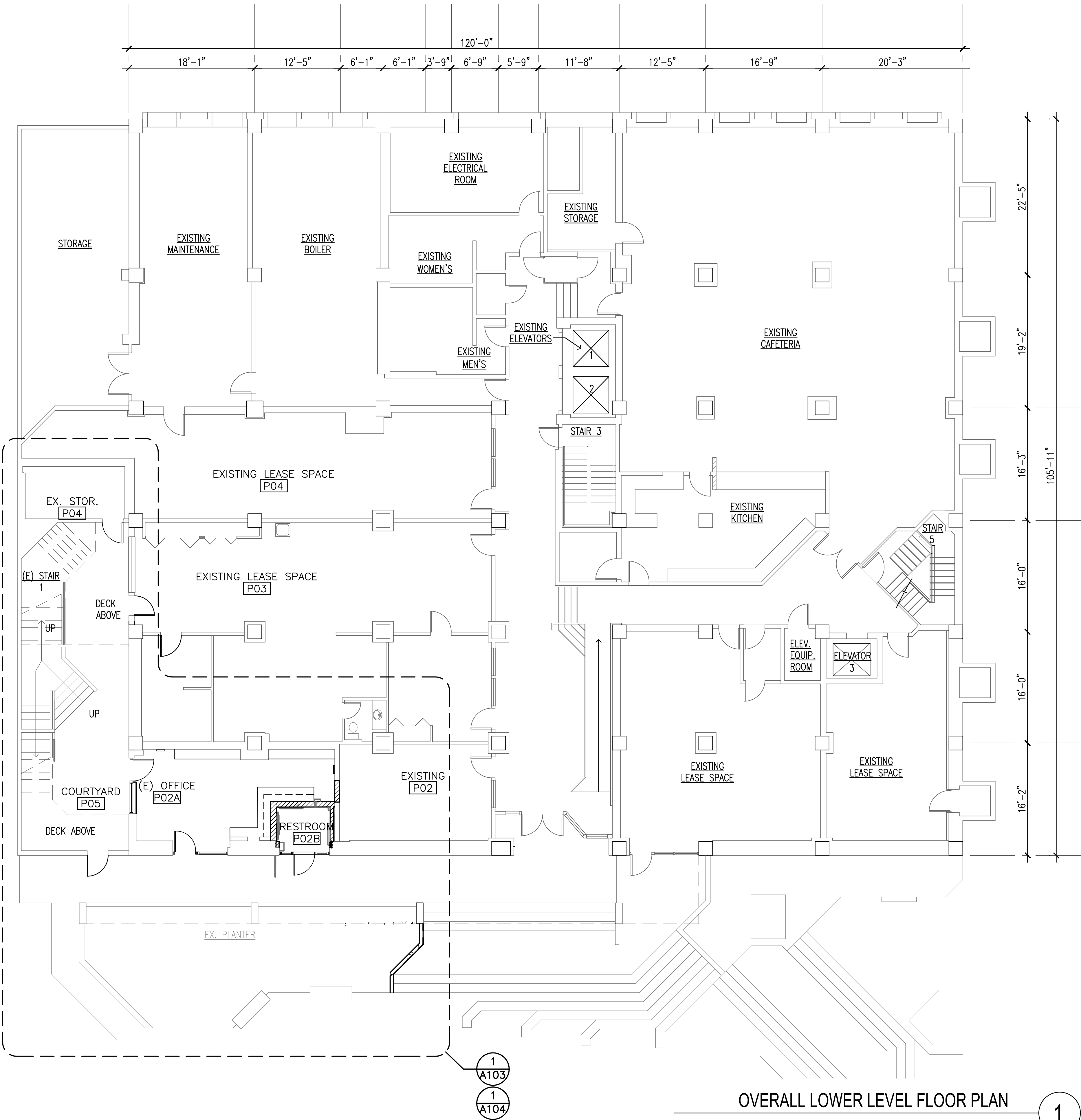
**90% REVIEW**



HING HAY

**COMFORT STATION  
RENOVATION  
LOWER LEVEL  
FLOOR PLAN**

DESIGNED <u>SN</u>	DATE <u>2/5/2024</u>
DRAWN <u>SN/AS</u>	SHEET <u>6</u> OF <u>23</u>
CHECKED <u>AR</u>	
ORDINANCE NO. <u>124927</u>	<b>A-102</b>
SPECIFICATION NO. <u>2034</u>	
SCALE <u>1/8" = 1'-0"</u>	

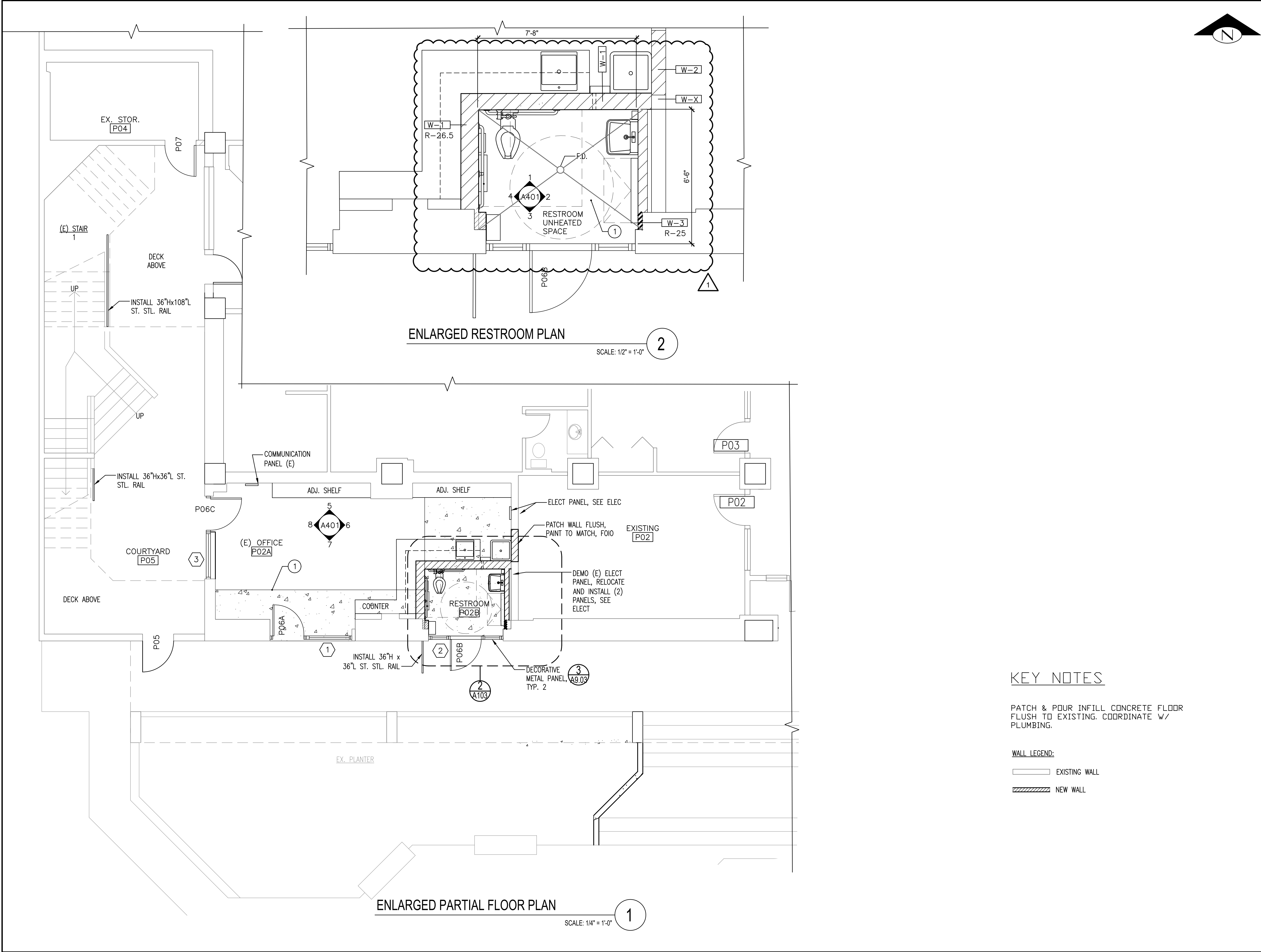


OVERALL LOWER LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"

1





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UTILITY NOTIFICATION CENTER  
BEFORE YOU DIG!  
WWW.CALL811.COM

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PERMIT RESPONSE	9/22/20
NO.	REVISION - AS BUILT
	DATE

REVIEWED: PARK ENGINEER DATE  
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rolluda architects  
architecture planning interior design

90% REVIEW  
6250  
REGISTERED ARCHITECT  
Alex E. Rolluda  
STATE OF WASHINGTON

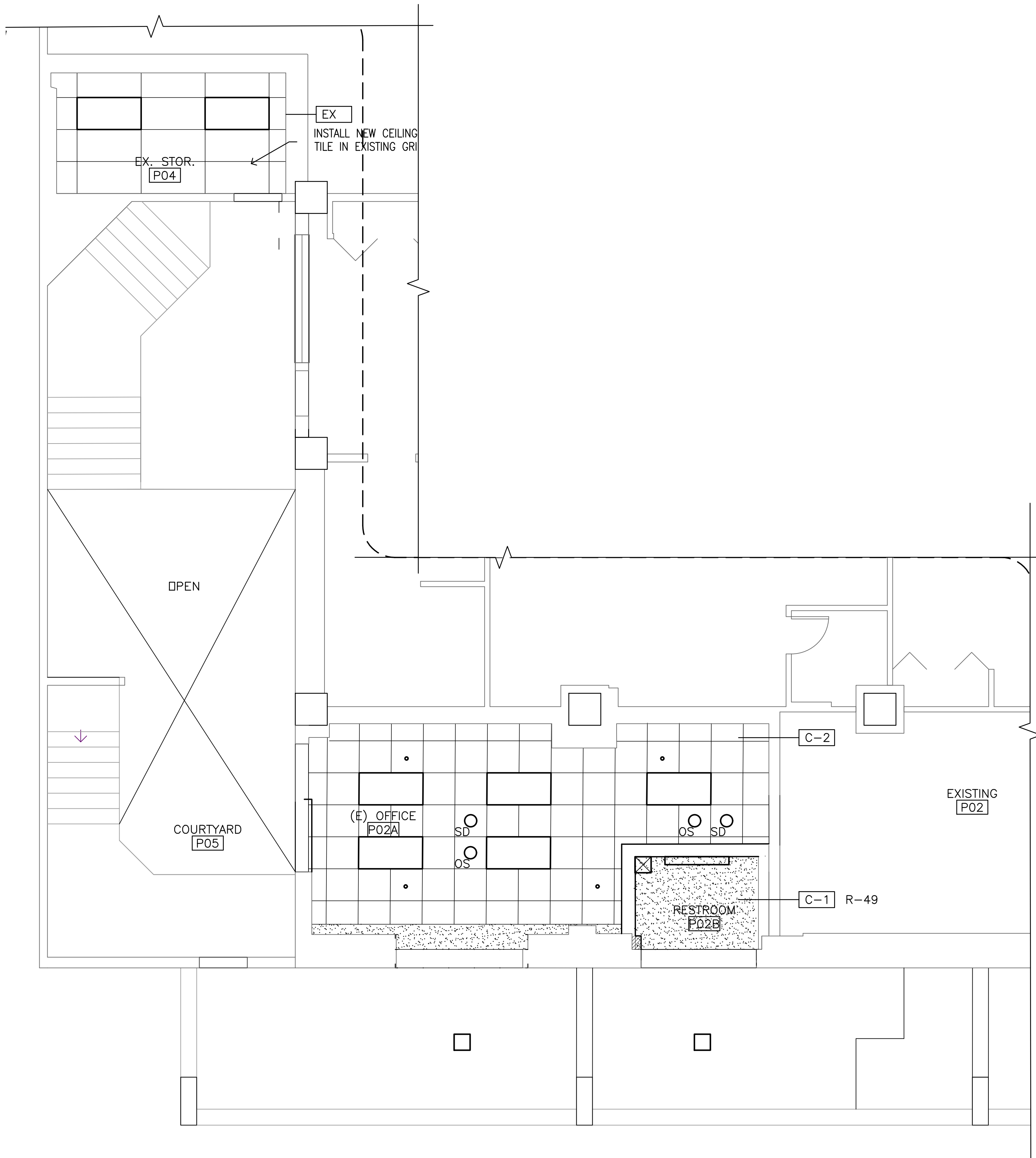
Seattle  
Parks & Recreation

HING HAY

COMFORT STATION  
RENOVATION

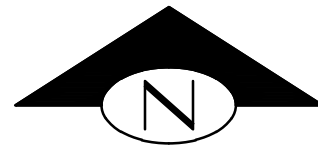
ENLARGED FLOOR PLAN

DESIGNED SN	DATE 2/5/2024
DRAWN SN/AS	
CHECKED AR	SHEET 7 OF 23
ORDINANCE NO. 124927	A-103
SPECIFICATION NO. 2034	
SCALE 1/4" = 1'-0"	



- CEILING LEGEND
- SUSPENDED CEILING, REPLACE TILES
  - PAINT CEILING
  - (E) LIGHT FIXTURE
  - LIGHT FIXTURE
  - 12"x12" FAN EXHAUST
  - OCCUPANCY SENSOR
  - SMOKE DETECTOR

ENLARGED REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0" 1



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UTILITY NOTIFICATION CENTER  
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NO.	REVISION - AS BUILT	DATE
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REVIEWED: PARK ENGINEER DATE

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rolluda architects  
architecture planning interior design

90% REVIEW

6250  
REGISTERED ARCHITECT  
Alex E. Rolluda  
STATE OF WASHINGTON

Seattle  
Parks & Recreation

HING HAY

COMFORT STATION  
RENOVATION

ENLARGED REFLECTED  
CEILING PLAN

DESIGNED SN	DATE 2/5/2024
DRAWN SN/AS	SHEET 8 OF 23
CHECKED AR	
ORDINANCE NO. 124927	A-104
SPECIFICATION NO. 2034	
SCALE 1/4" = 1'-0"	



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NO.	REVISION	AS BUILT	DATE
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REVIEWED: \_\_\_\_\_  
PARK ENGINEER DATE

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**rolluda architects**  
architecture planning interior design

**90% REVIEW**

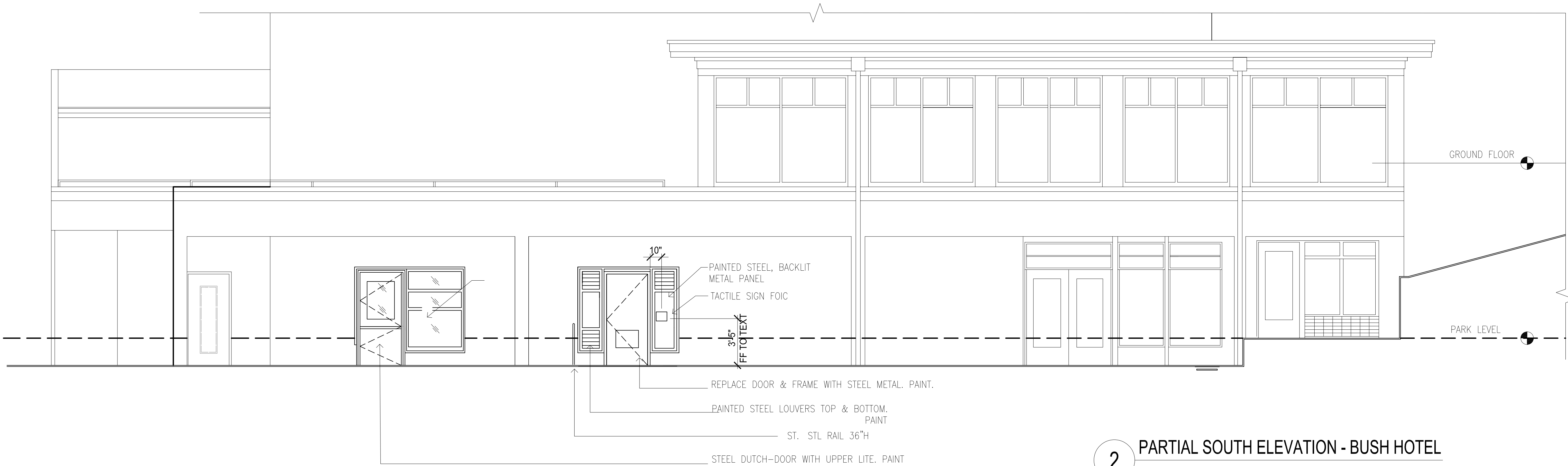
6250  
REGISTERED  
ARCHITECT  
Alex E. Rolluda  
STATE OF WASHINGTON

**Seattle**  
Parks & Recreation

**HING HAY**

**COMFORT STATION  
RENOVATION  
EXTERIOR ELEVATIONS -  
PROPOSED**

DESIGNED <u>SN</u>	DATE <u>2/5/2024</u>
DRAWN <u>SN/AS</u>	
CHECKED <u>AR</u>	SHEET <b>9</b> OF <b>23</b>
ORDINANCE NO. <u>124927</u>	<b>A-201</b>
SPECIFICATION NO. <u>2034</u>	
SCALE <u>AS NOTED</u>	



ROOM FINISH SCHEDULE														
RM NO	ROOM NAME	FLOOR		BASE		WALLS					CEILING		WAINSCOT	REMARKS
		MATL	FIN	MATL	FIN	MATL	N	E	S	W	MATL	FIN		
P02-A	OFFICE	(E) CONC	LVT	RB	FF	GWB	PT-1	PT-1	PT-1	PT-1	ACT-MR	FF	-	ACT PANELS TO BE INSTALLED IN NEW GRID
P02-B	RESTROOM	CONC	EPOXY	EPOXY	FF	CEM. BD	CT-1/2	CT-1/2	CT-1/2	CT-1/2	CEM.BD.	PT-1	-	
P04	EX. STORAGE	(E) CONC	LVT	RB	FF	(E) GWB	PT-1	PT-1	PT-1	PT-1	ACT-MR	FF	PLY. + CHAIR RAIL	ACT PANELS TO BE REPLACED, GRID & LIGHTING TO REMAIN
P05	COURTYARD/STAIRS	(E) CONC	-	N/A	P	(E) CONC	PT-E	PT-E	PT-E	PT-E	(E)	PT-E	-	

DOOR SCHEDULE																
DOOR NO	ROOM NAME	FIRE RATING	HDWRE GROUP	DOOR					FRAME			DETAILS			U - VALUE	REMARKS
				TYPE	WIDTH	HT.	MAT'L	FIN.	TYPE	MAT'L	FIN.	HEAD	JAMBS	THRESH.		
P06C	CONCIERGE OFFICE	NA	1	B	3'-0"	7'-0"	HM	PT-2	3	HM	PT-2	SEE SHEET A-902	SEE SHEET A-902	SEE SHEET A-902	U=0.60	ELECT. STRIKE GROUT FRAMES SOLID
P06A	CONCIERGE OFFICE	NA	1	A	3'-0"	7'-0"	HM	PT-2	1	HM	PT-2	SEE SHEET A-902	SEE SHEET A-902	SEE SHEET A-902	U=0.60	ELECT. STRIKE GROUT FRAMES SOLID
P06B	PUBLIC REST ROOM	NA	2	C	3'-0"	7'-0"	HM	PT-2	2	HM	PT-2	SEE SHEET A-902	SEE SHEET A-902	SEE SHEET A-902	U=0.60	ELECT. STRIKE GROUT FRAMES SOLID
P07	EX SPR STORAGE	N/A	3	C	3'-0"	7'-0"	HM	PT-2	4	HM	PT-2	SEE SHEET A-902	SEE SHEET A-902	SEE SHEET A-902	U=0.60	ELECT. STRIKE GROUT FRAMES SOLID

## LEGEND

ACT	ACOUSTIC CEILING TILE
CEM.BD	CEMENT BOARD
CONC	CONCRETE
E	EXISTING
FF	FINISHED FLOOR
GWB	GYPSUM WALL BOARD
HM	HOLLOW METAL
LVT	LUXURY VINYL TILE
MR	MOISTURE RESISTANT
N/A	NOT APPLICABLE
PT	PAINT
RB	RUBBER BASE

WINDOW SCHEDULE																
WINDOW NO	ROOM NAME	FIRE RATING	HDWRE GROUP	WINDOW/LOUVER					FRAME			DETAILS			U - VALUE	REMARKS
				TYPE	WIDTH	HT.	MAT'L	FIN.	TYPE	MAT'L	FIN.	HEAD	JAMBS	SILL		
1	CONCIERGE OFFICE	NA	1	C	4'-2 1/2"	5'-0"	HM		3	HM		SEE SHEET A-902	SEE SHEET A-902	SEE SHEET A-902	0.3800	
3	CONCIERGE OFFICE	NA	1	A	3'-10 1/2"	5'-0"	HM		1	HM		SEE SHEET A-902	SEE SHEET A-902	SEE SHEET A-902	0.3800	
2	PUBLIC REST ROOM	NA	2	B	3'-0"	5'-0"	HM		2	HM		SEE SHEET A-902	SEE SHEET A-902	SEE SHEET A-902	0.3000	LOUVER

## WINDOW NOTES

- PROVIDE INSECT SCREENS ON OPERABLE WINDOWS
- PROVIDE SAFETY GLASS AS REQUIRED
- INSULATED WINDOWS TO BE U=0.38 OR BETTER.
- COORDINATE WITH SPECIFICATIONS
- SEE PLAN & EXTERIOR ELEVATIONS FOR WINDOW LOCATIONS


### DOOR ASSEMBLY AND HARDWARE NOTES:

- DOOR ASSEMBLY TO BE FACTORY-FINISH WITH HIGH PERFORMANCE COATING AND/OR PAINTED AS DIRECTED BY ARCHITECT.
- DOOR HARDWARE NOTES:
  - ADJUST DOOR CLOSERS TO CLOSE FROM AN OPEN POSITION OF 90 DEGREES TO 12 DEGREES TO LATCH IN NOT LESS THAN 5 SECONDS. DOOR CLOSURES SHALL BE ADJUSTABLE HYDRAULIC.
  - HARDWARE, SUCH AS HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS, CABINETS AND FIXTURES SHALL HAVE A LEVER OR ARM SHAPE THAT PERMITS OPERATION BY WRIST OR ARM PRESSURE AND DOES NOT REQUIRE TIGHT GRASP, PINCH OR TWIST TO OPERATE.
  - PANIC HARDWARE SHALL BE MOUNTED AT A HEIGHT OF 34" MIN TO 44" MAX AND UNLATCH AT A FORCE OF 15 POUNDS MAX WHEN APPLIED IN THE DIRECTION OF TRAVEL.
  - EXIT DOORS SHALL BE PIVOTED, BALANCED OR SIDE-HINGED SWINGING TYPE AND SHALL SWING TO A FULLY OPEN POSITION WITH A FORCE NOT TO EXCEED 10 POUNDS FOR EXTERIOR SWING DOORS AND 5 POUNDS FOR INTERIOR SWING DOORS.
  - THRESHOLD SHALL NOT EXCEED 1/2" HEIGHT FROM DOORWAY LANDINGS AND SHALL INTEGRATE A 45 DEGREE SLOPED TRANSITION FOR THE TOP 1/4" SECTION OF TRANSITION.
  - EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. THE UNLATCHING SHALL NOT REQUIRE MORE THAN ONE OPERATION.
  - OPAQUE DOOR U-FACTOR SHALL BE 0.37 PER NFRC TEST. INSULATED METAL & SOLID CORE WOOD DOORS ARE CONSIDERED COMPLIANT PER CH. 10 OF SEC.
  - INSULATED DOOR ASSEMBLIES INCLUDE INSULATED DOOR PANEL(S), CONTINUOUS GASKET SEALS AND SWEEPERS, INSULATED OR GROUTED HM FRAME.
  - DOOR HARDWARE ASSEMBLY TO INCLUDE DOOR STOPS.
  - ELECTRIC STRIKE LOCKSET W/ CLOSER, ILO OF STANDARD HARDWARE. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

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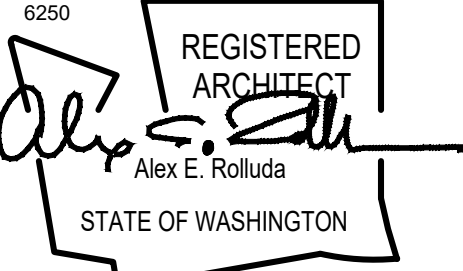
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	PERMIT RESPONSE	11/21/23
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architecture planning interior design

90% REVIEW



 **Seattle**  
Parks & Recreation

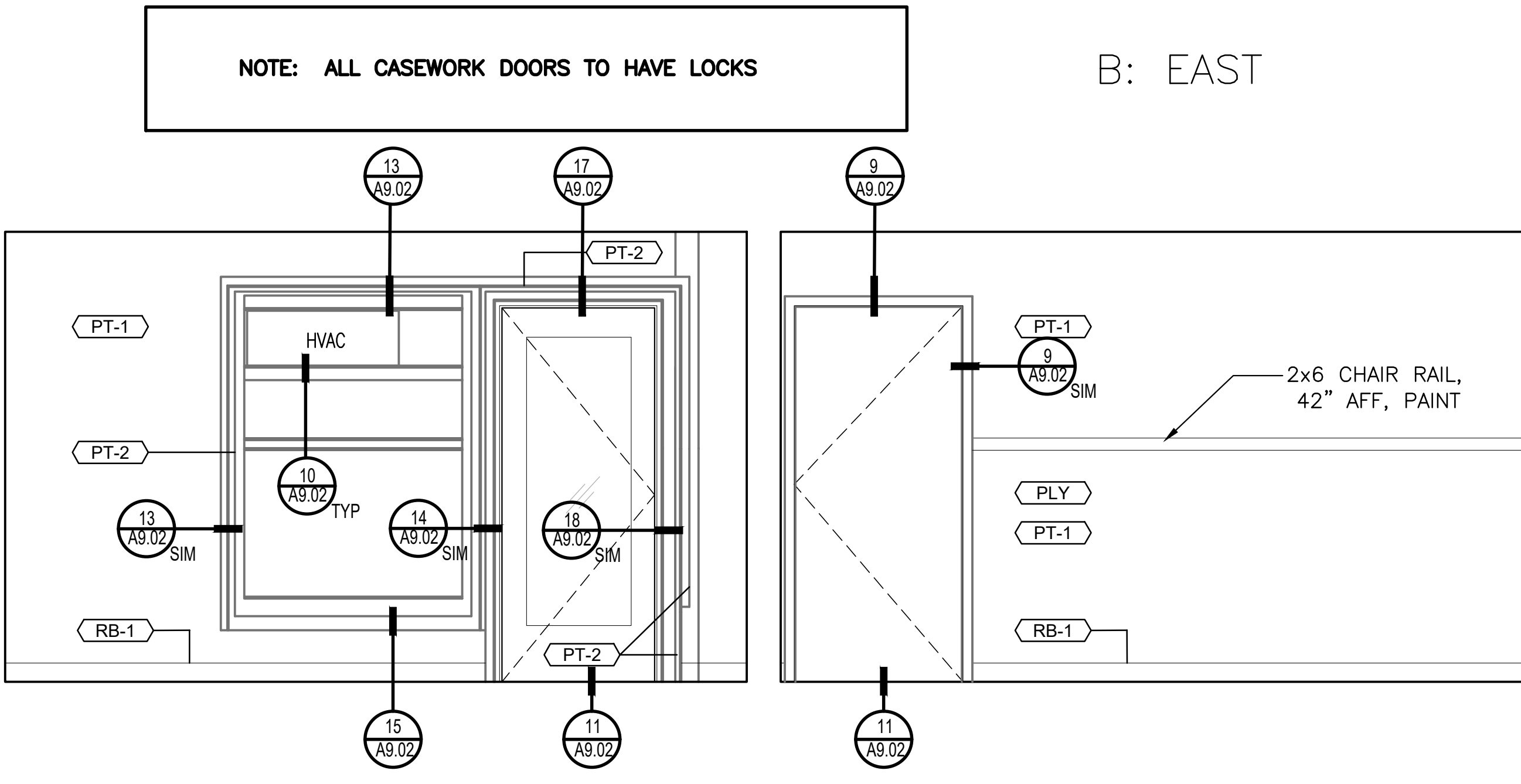
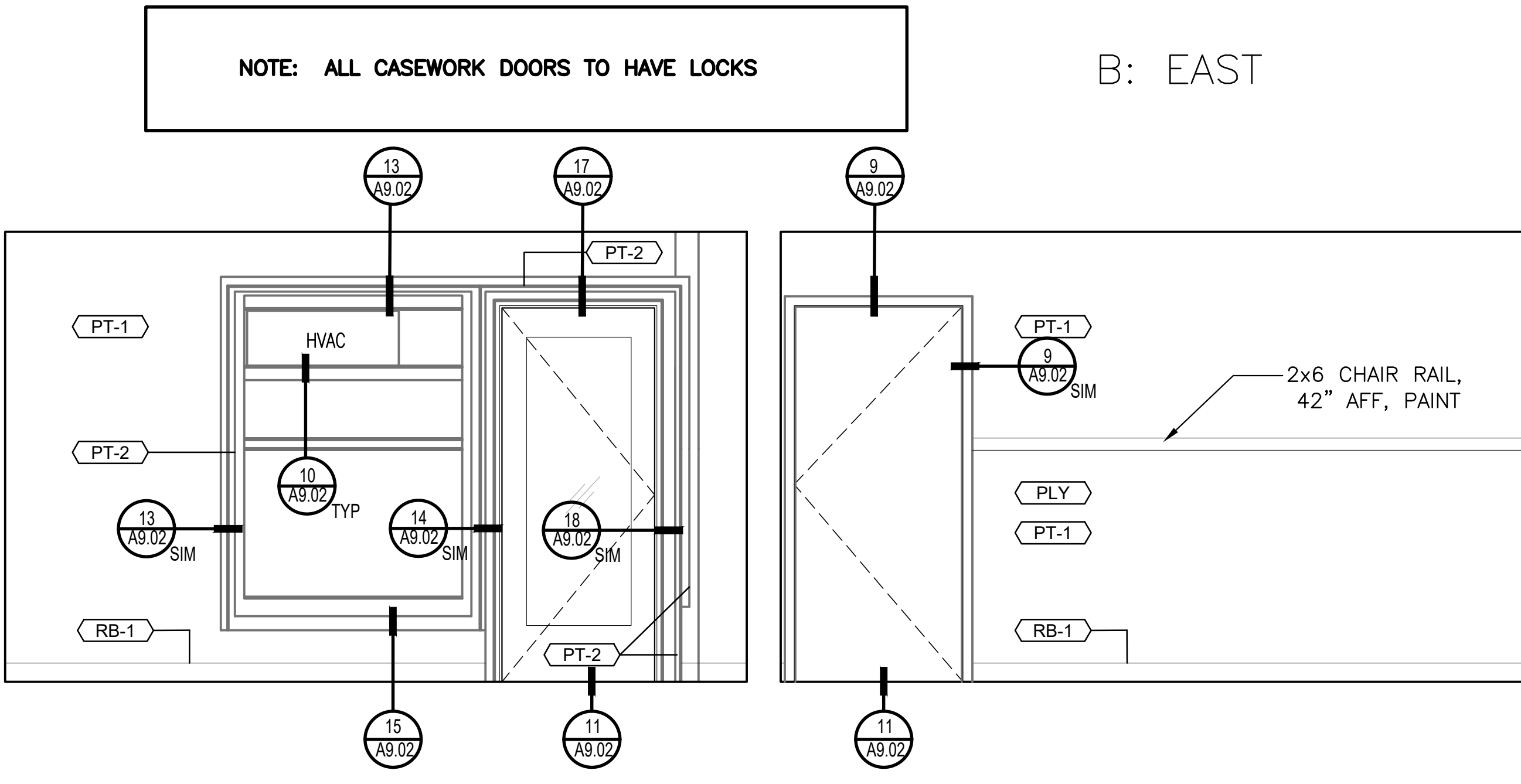
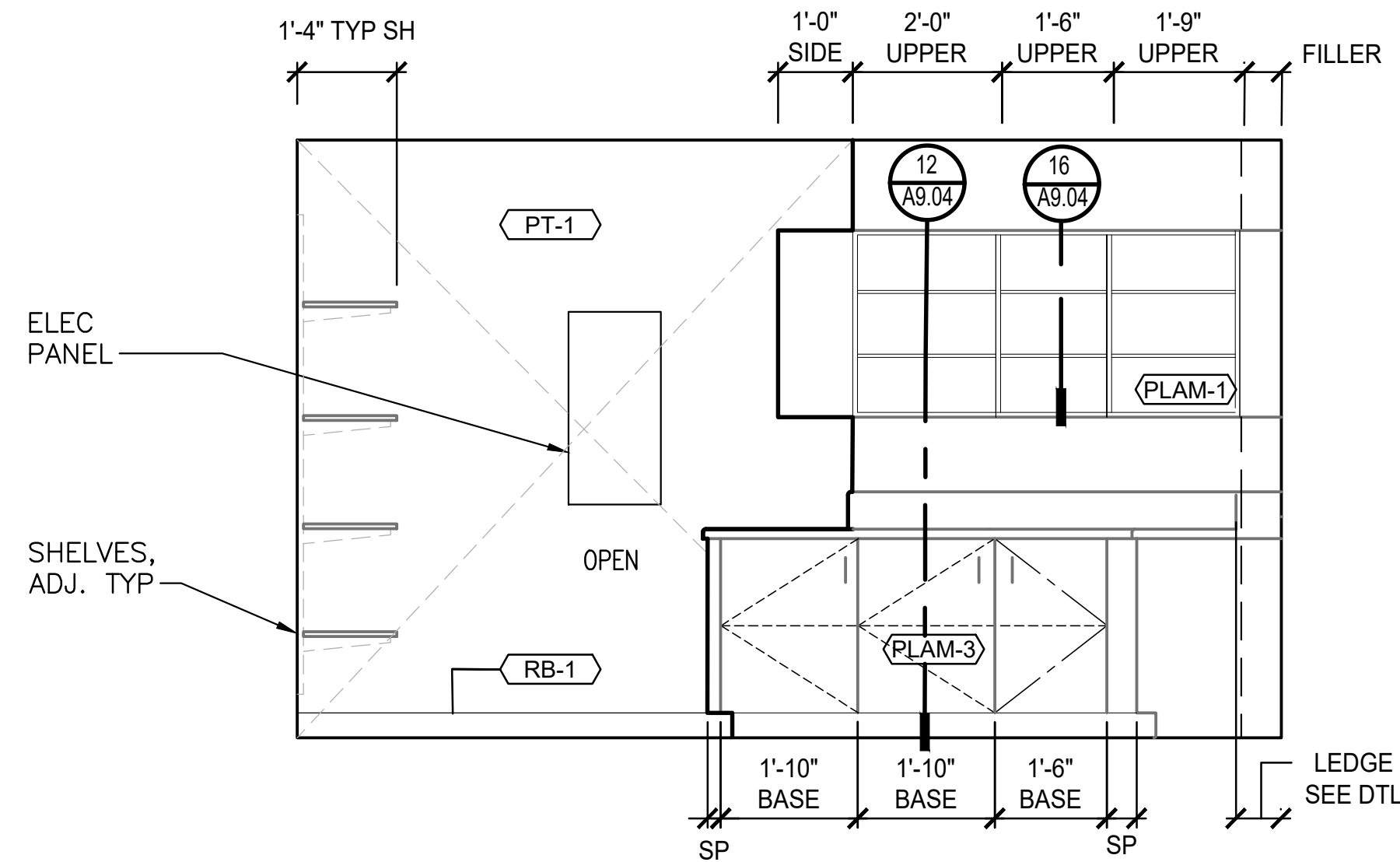
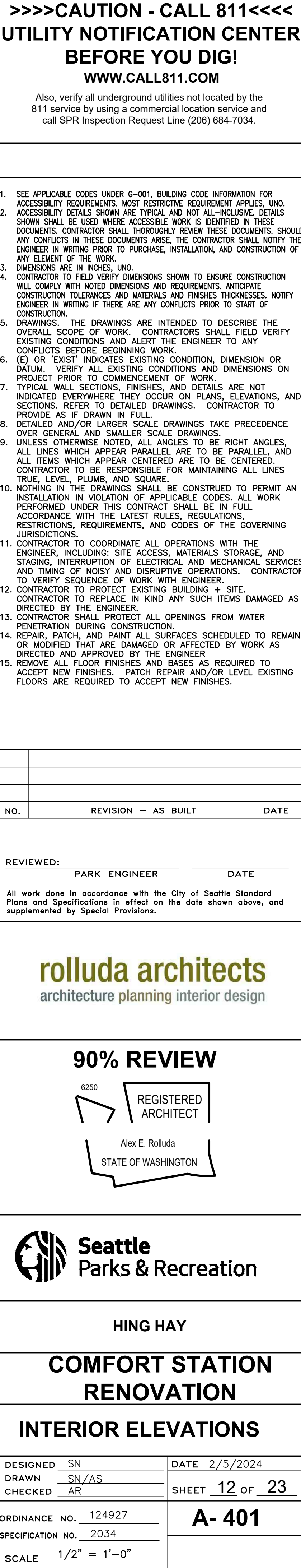
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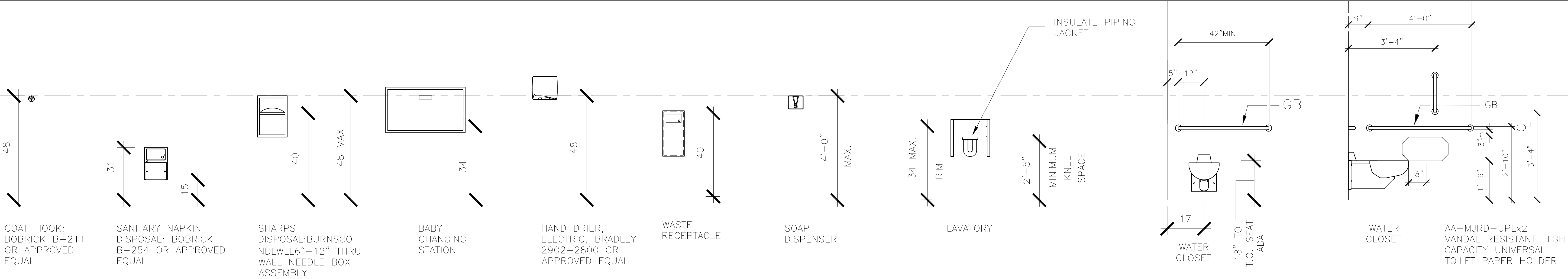
**COMFORT STATION  
RENOVATION**

**SCHEDULES**

DESIGNED <u>SN</u>	DATE <u>2/5/2024</u>
DRAWN <u>SN/AS</u>	SHEET <u>11</u> OF <u>23</u>
CHECKED <u>AR</u>	
ORDINANCE NO. <u>124927</u>	<b>A-301</b>
SPECIFICATION NO. <u>2034</u>	
SCALE _____	







COAT HOOK: BOBRICK B-211 OR APPROVED EQUAL

SANITARY NAPKIN DISPOSAL: BOBRICK B-254 OR APPROVED EQUAL

SHARPS DISPOSAL: BURNSCO NDLL6"-12" THRU WALL NEEDLE BOX ASSEMBLY

BABY CHANGING STATION

HAND DRIER, ELECTRIC, BRADLEY 2902-2800 OR APPROVED EQUAL

WASTE RECEPTACLE

SOAP DISPENSER

LAVATORY

WATER CLOSET

AA-MJRD-UPLx2 CAPACITY UNIVERSAL TOILET PAPER HOLDER

TYPICAL MOUNTING HEIGHTS

SCALE: 1/2" = 1'-0"

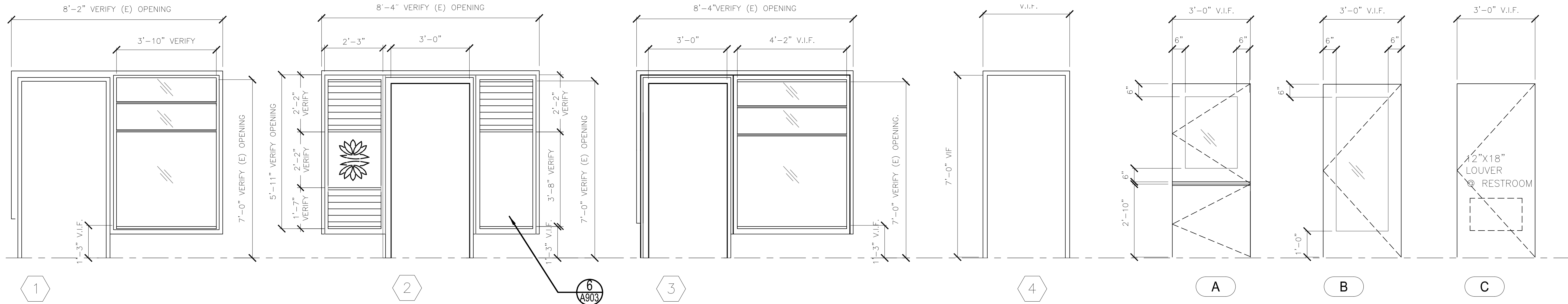
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DOOR NOTES

1. ALL DOOR HARDWARE TO BE LEVER ACTIVATED. MOUNT NOT LESS THAN 34" AFF NOR MORE THAN 44" AFF.
2. PROVIDE DOOR CLOSER AS SCHEDULED
3. PANIC HARDWARE NOT REQUIRED
4. UNLATCHING FORCE AND OPENING OF INTERIOR DOORS SHALL NOT EXCEED 5#.
5. UNLATCHING FORCE AND OPENING OF EXTERIOR DOORS SHALL NOT EXCEED 10# WHEN APPLIED IN DIRECTION OF TRAVEL.
6. PROVIDE SAFETY GLASS AT ALL DOORS. INSULATED SAFETY GLASS AS SCHEDULED
7. DOOR CLOSING SPEED: MEET ADA 404.2.8 WHEN OPEN WILL TAKE 5 SECONDS TO MOVE FROM 90 DEGREES TO 12 DEGREES.
8. POWER ASSIST AT EXTERIOR DOORS AS NOTED
9. ALL DOORS MUST COMPLY WITH FORCE AND SPEED PER ADA CHAPTER 410.

WINDOW NOTES

1. PROVIDE SAFETY GLASS AS REQUIRED
2. INSULATED WINDOWS TO BE U=0.28 OR BETTER.
3. COORDINATE WITH SPECIFICATIONS
4. SEE PLAN & EXTERIOR ELEVATIONS FOR WINDOW TYPE



1

2

3

4

A

B

C

DOOR & WINDOW FRAME TYPES

SCALE: 1/2" = 1'-0"

4

DOOR TYPES

SCALE: 1/2" = 1'-0"

3

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NO.	REVISION - AS BUILT	DATE

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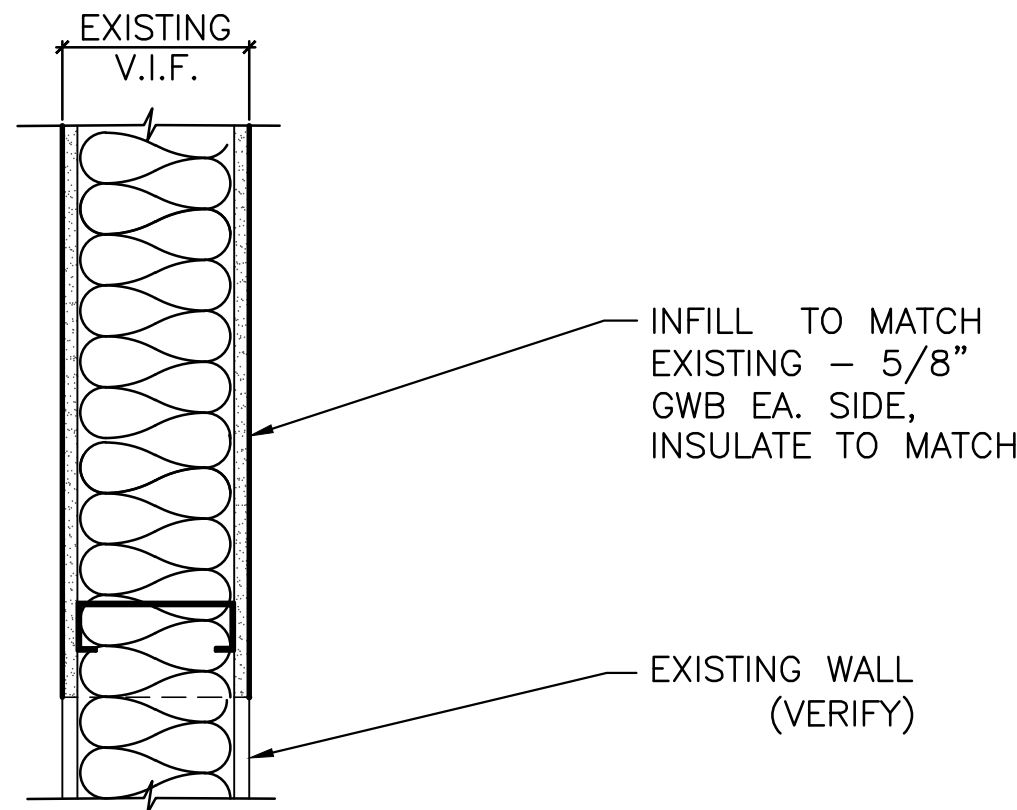
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COMFORT STATION  
RENOVATION  
DOOR TYPES,  
MOUNTING HEIGHTS

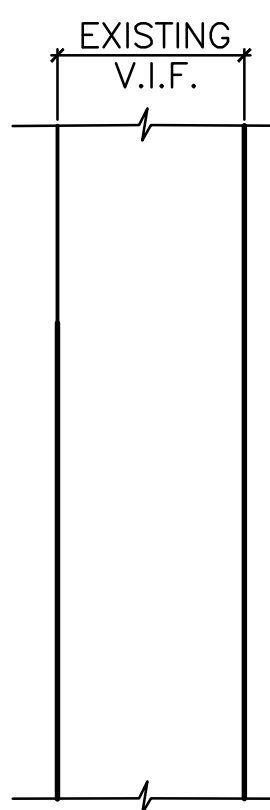
DESIGNED	SN	DATE	2/5/2024
DRAWN	SN/AS		
CHECKED	AR	SHEET	13 OF 23
ORDINANCE NO.	124927		
SPECIFICATION NO.	2034		
SCALE	1/2" = 1'-0"		

A-601

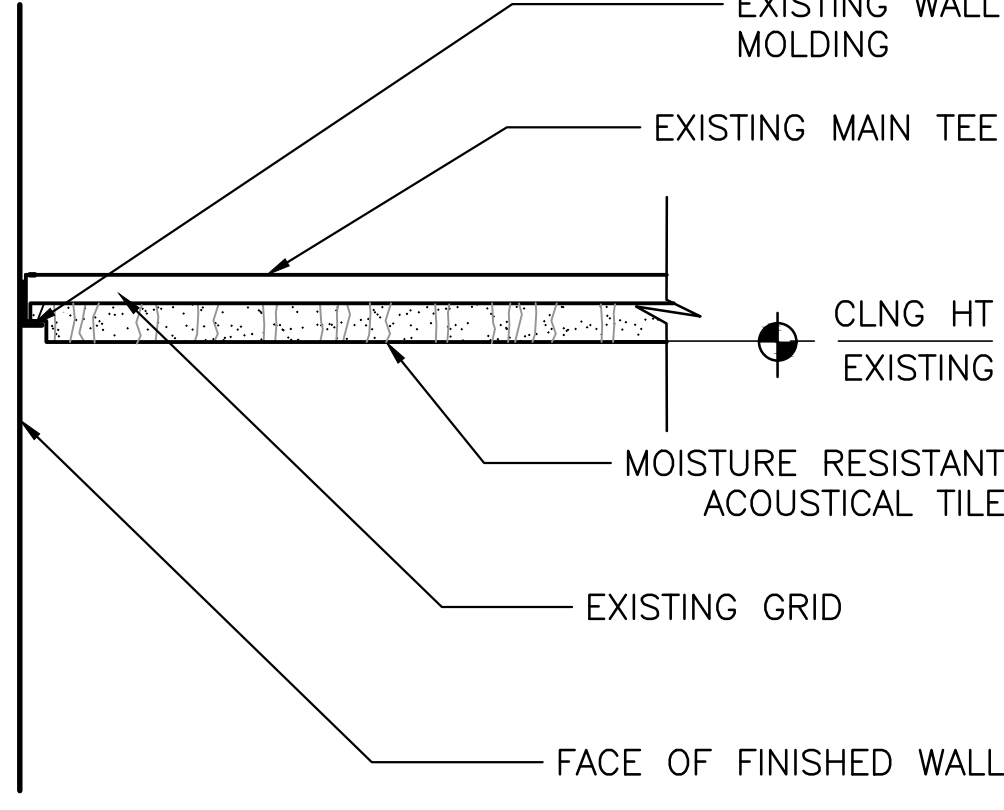




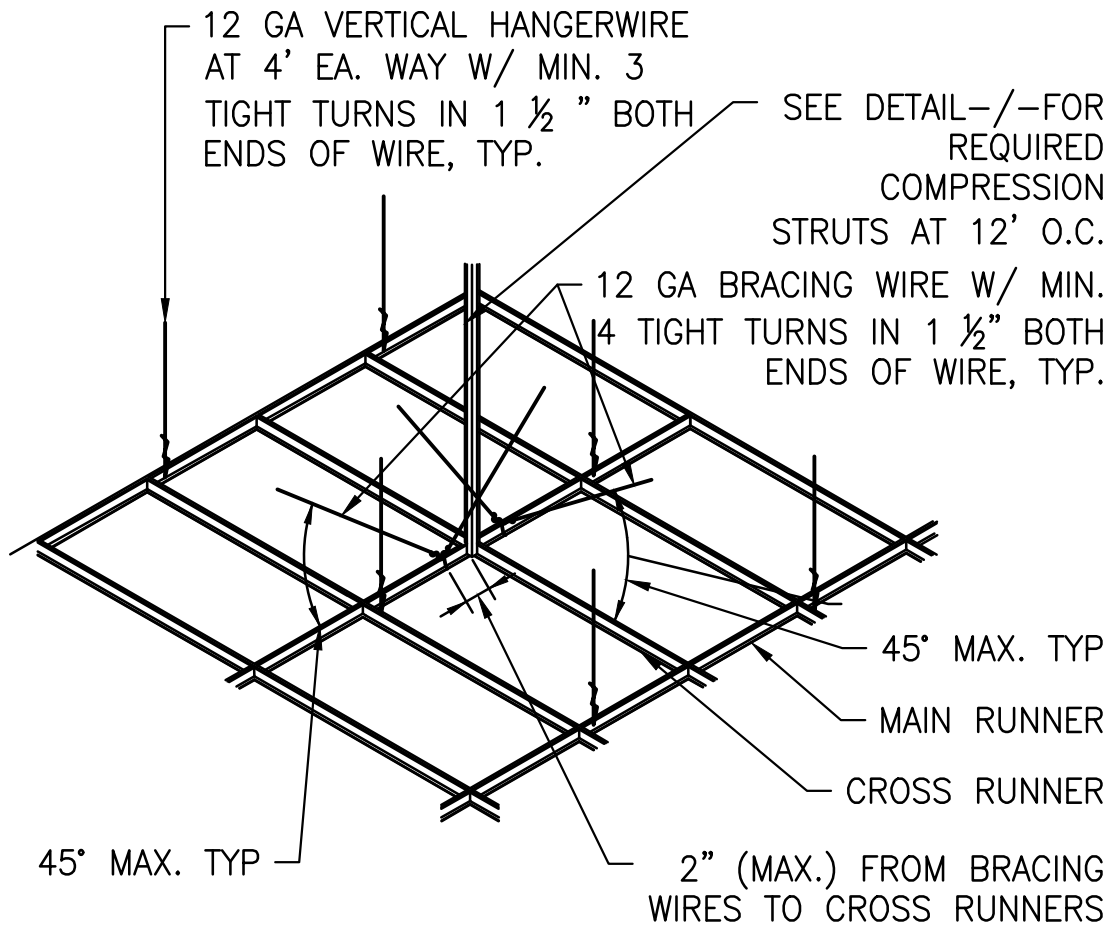
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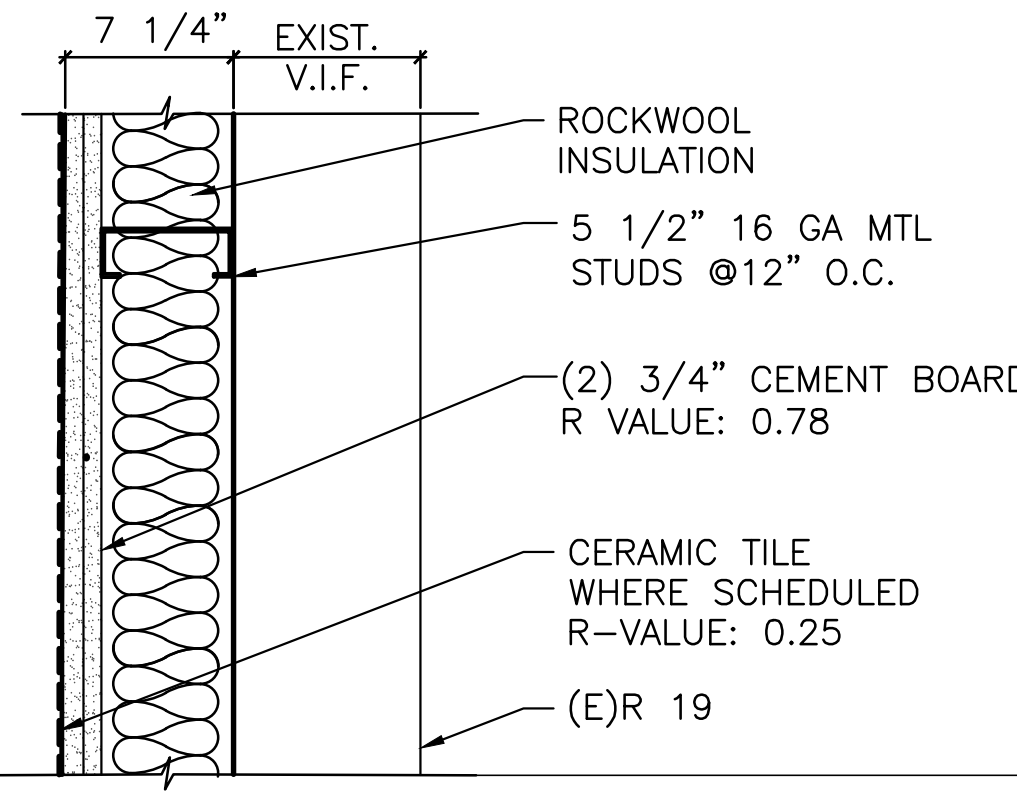
W-X



C-2

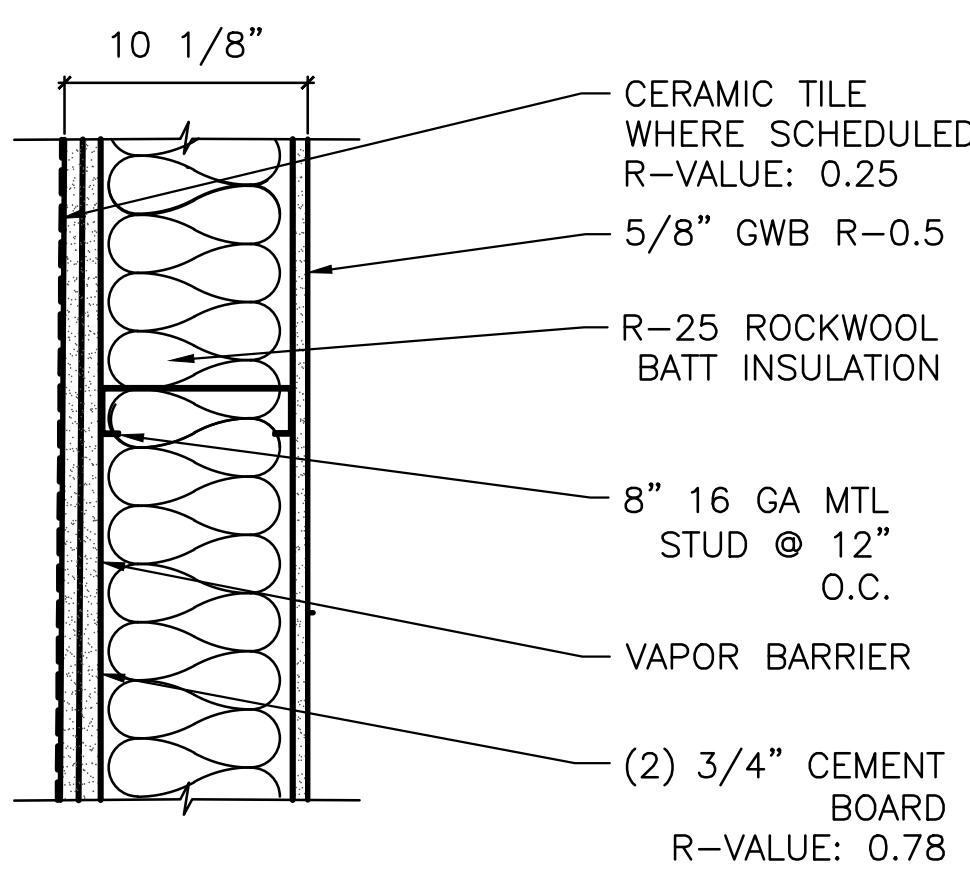


1 SUSP CEILING SUPP & BRACING



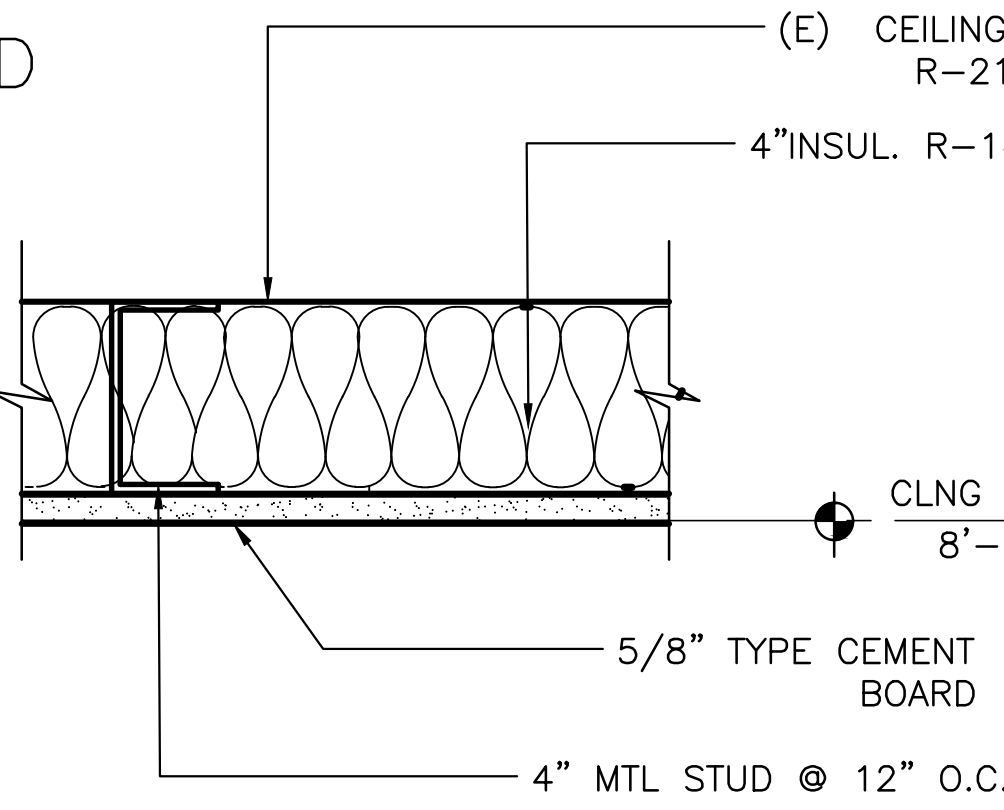
W-3 TOTAL R-VALUE: 39

TABLE C402.1.3 ENVELOPE INSULATION REQUIREMENTS  
STEEL FRAMED WALLS: R-13 + R10ci  
PROVIDED: R-39



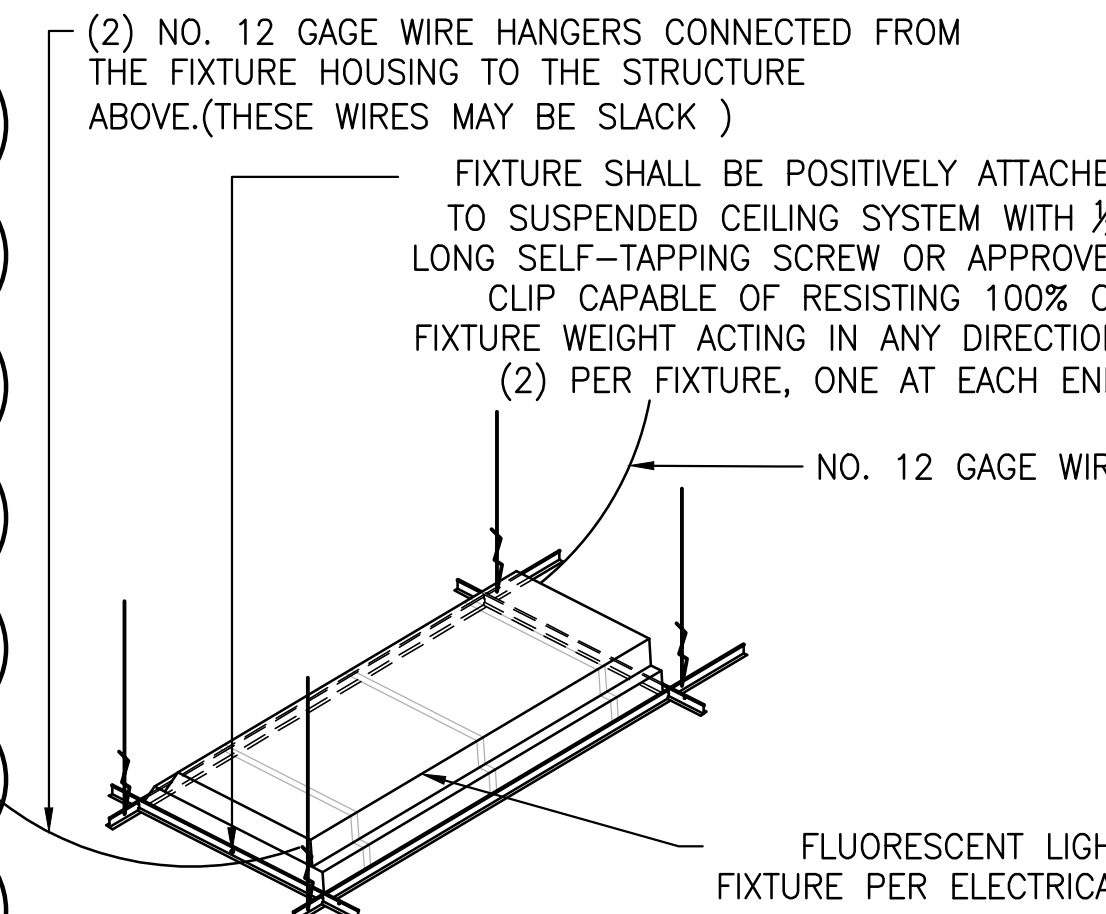
W-1 TOTAL R-VALUE: 26.03

TABLE C402.1.3 ENVELOPE INSULATION REQUIREMENTS  
STEEL FRAMED WALLS: R-13 + R10ci  
PROVIDED: R-26.03



C-1 INSULATED CEILING R-VALUE: 35

TABLE C402.1.3 ENVELOPE INSULATION REQUIREMENTS  
FLOORS: R-30  
PROVIDED: R-35



2 LIGHT FIXTURE / SUSP CLG

WALL TYPE SCHEDULE

SCALE: 1 1/2" = 1'- 0"

3

FLOOR/CEILING TYPE SCHEDULE

SCALE: 3" = 1'- 0"

2

CEILING DETAILS

SCALE: 3/4" = 1'- 0"

1

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PERMIT RESPONSE		11/21/23
NO.	REVISION - AS BUILT	DATE

REVIEWED: \_\_\_\_\_  
PARK ENGINEER DATE  
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architecture planning interior design

90% REVIEW

6250  
REGISTERED  
ARCHITECT  
Alex E. Rolluda  
STATE OF WASHINGTON

Seattle  
Parks & Recreation

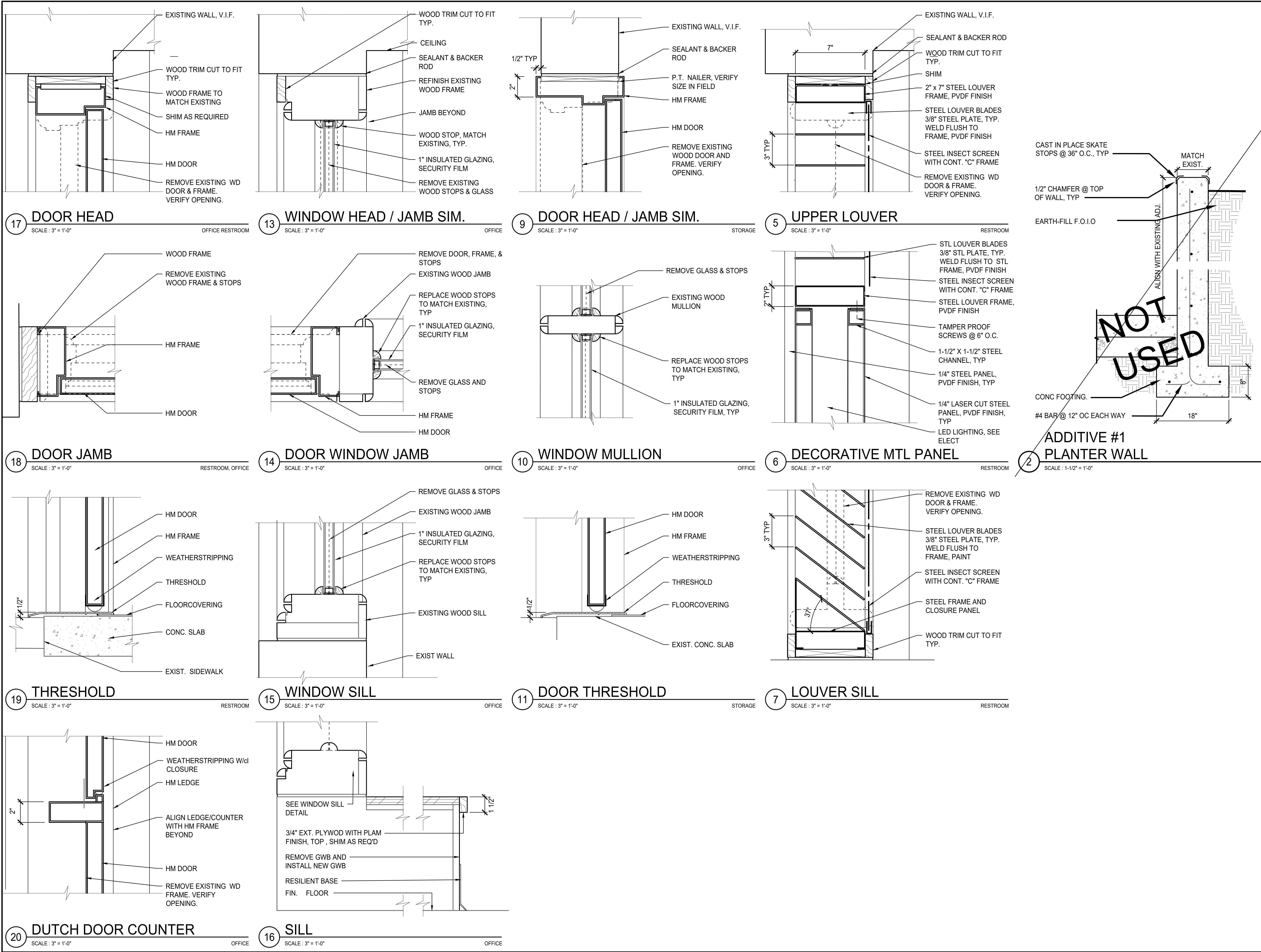
HING HAY

COMFORT STATION  
RENOVATION

DETAILS

DESIGNED	SN	DATE	2/5/2024
DRAWN	SN/AS		
CHECKED	AR	SHEET	13.1f 23
ORDINANCE NO.	124927		A901A
SPECIFICATION NO.	2034		
SCALE	VARIABLES		

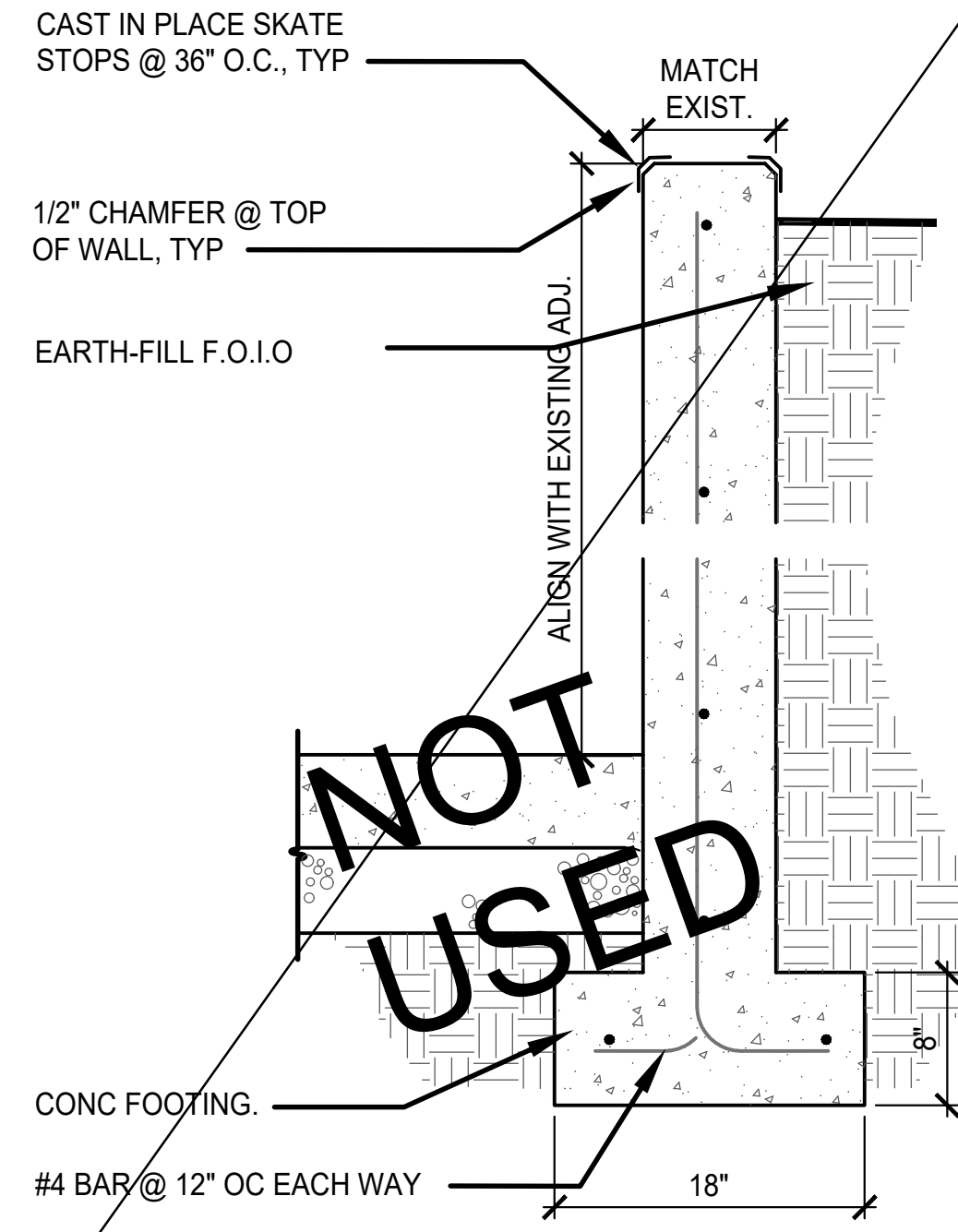




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ADDITIVE #1  
PLANTER WALL  
SCALE : 1-1/2" = 1'-0"

NO.	REVISION	AS BUILT	DATE

REVIEWED: PARK ENGINEER DATE

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Alex E. Rolluda  
STATE OF WASHINGTON

Seattle  
Parks & Recreation

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RENOVATION

DETAILS

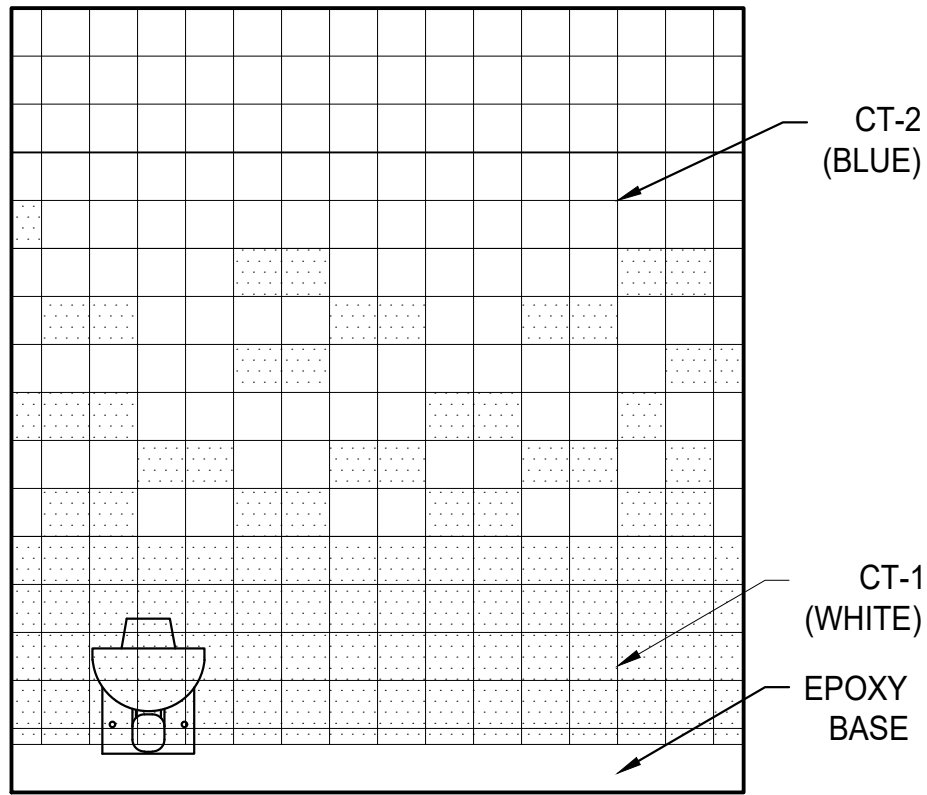
DESIGNED	SN	DATE	2/5/2024
DRAWN	SN/AS	SHEET	15 OF 23
CHECKED	AR		

ORDINANCE NO. 124927  
SPECIFICATION NO. 2034

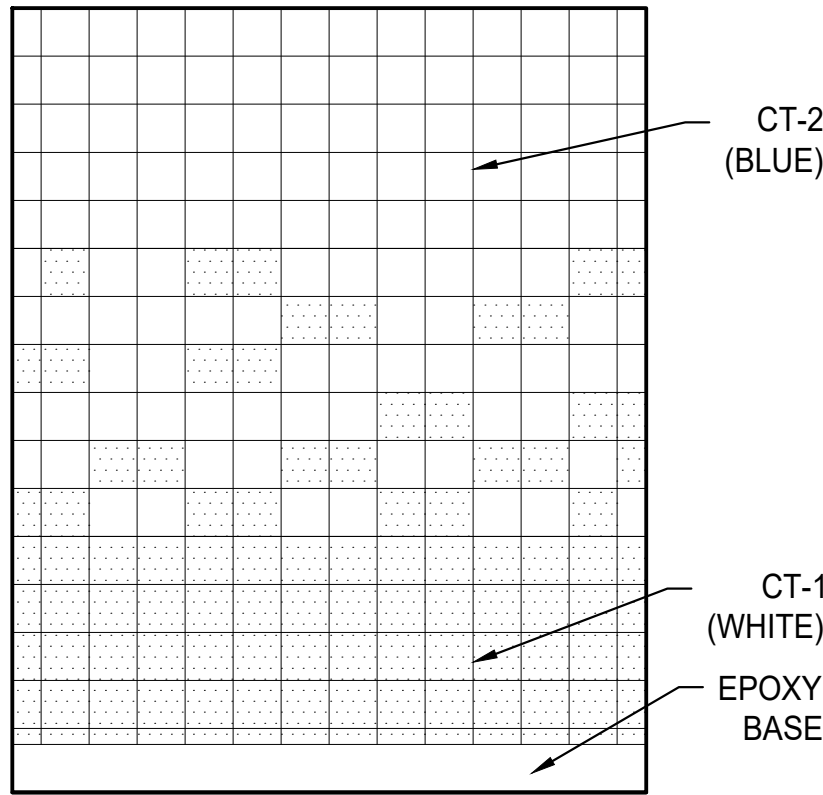
A-902

SCALE

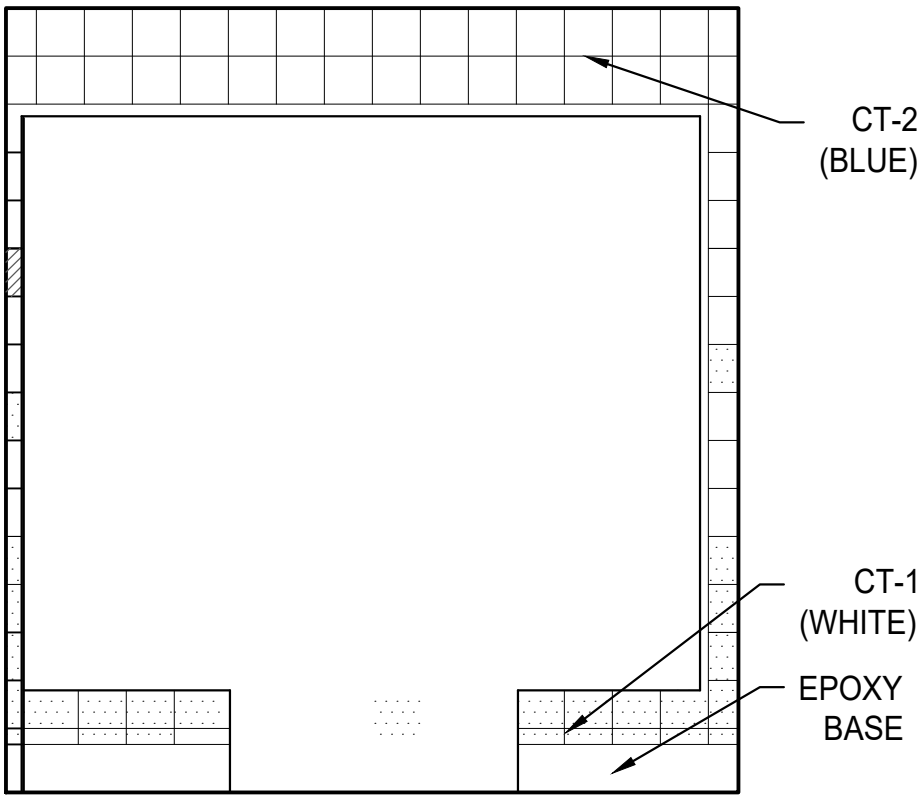




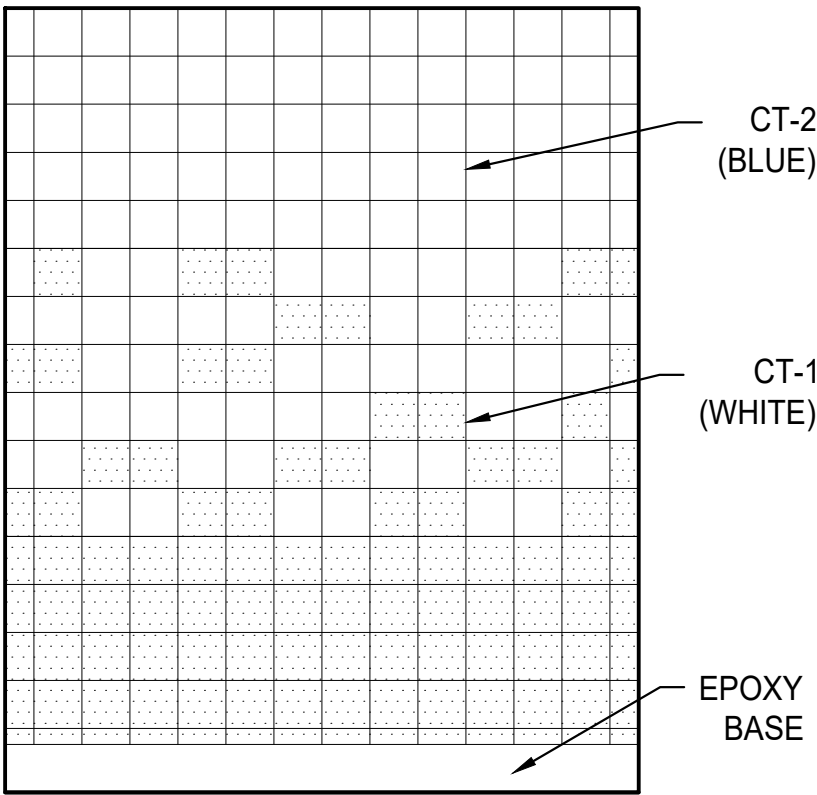
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B: EAST

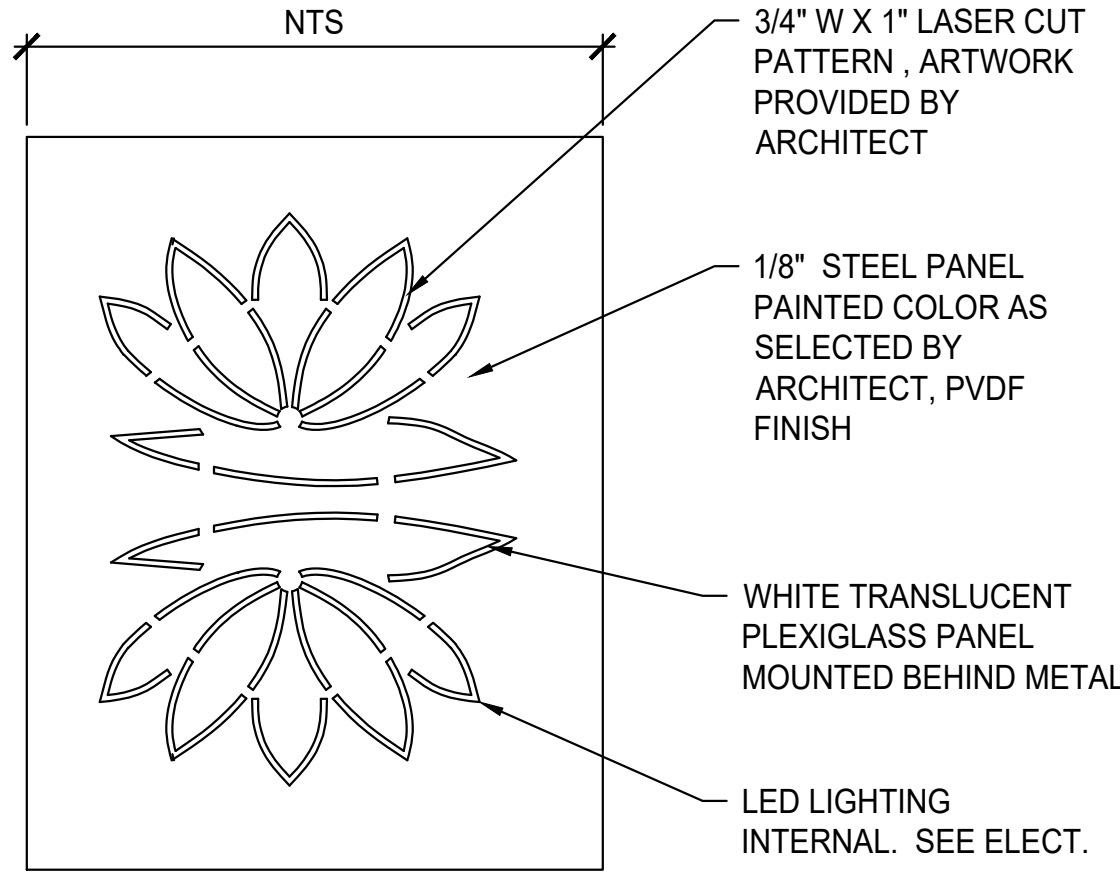


C: SOUTH

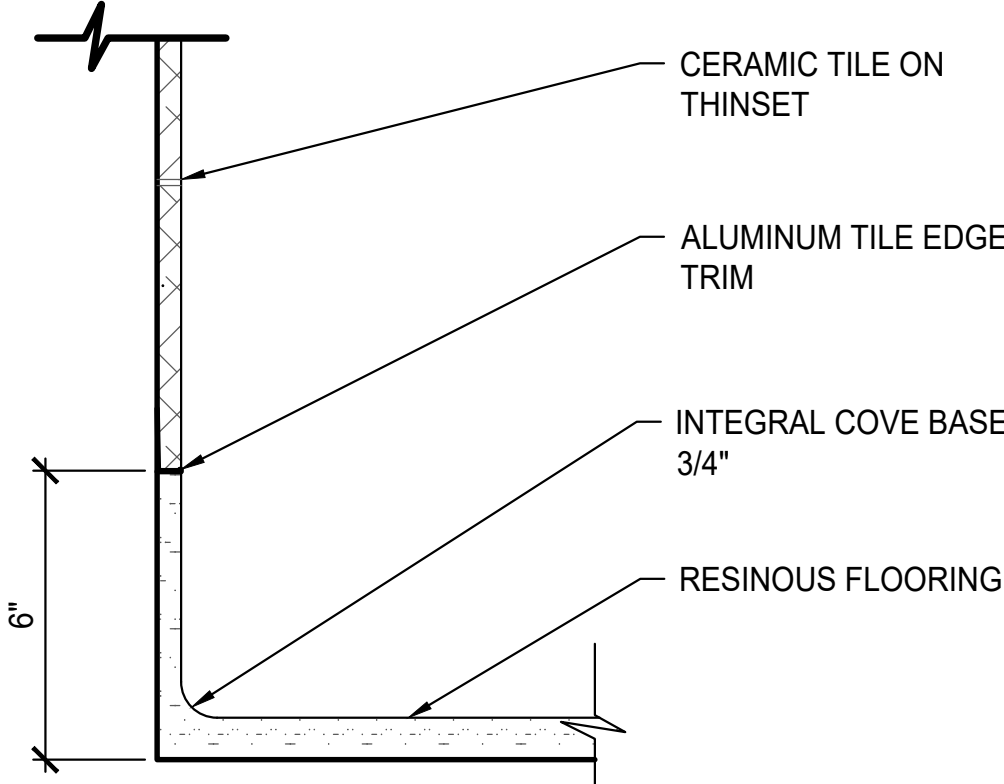


D: WEST

1 CERAMIC TILE PATTERN  
SCALE : 1/2" = 1'-0"



6 PANEL - BACKLIT  
SCALE : 1 1/2" = 1'-0"



2 COVE BASE  
SCALE : 3\"/>

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PARK ENGINEER DATE

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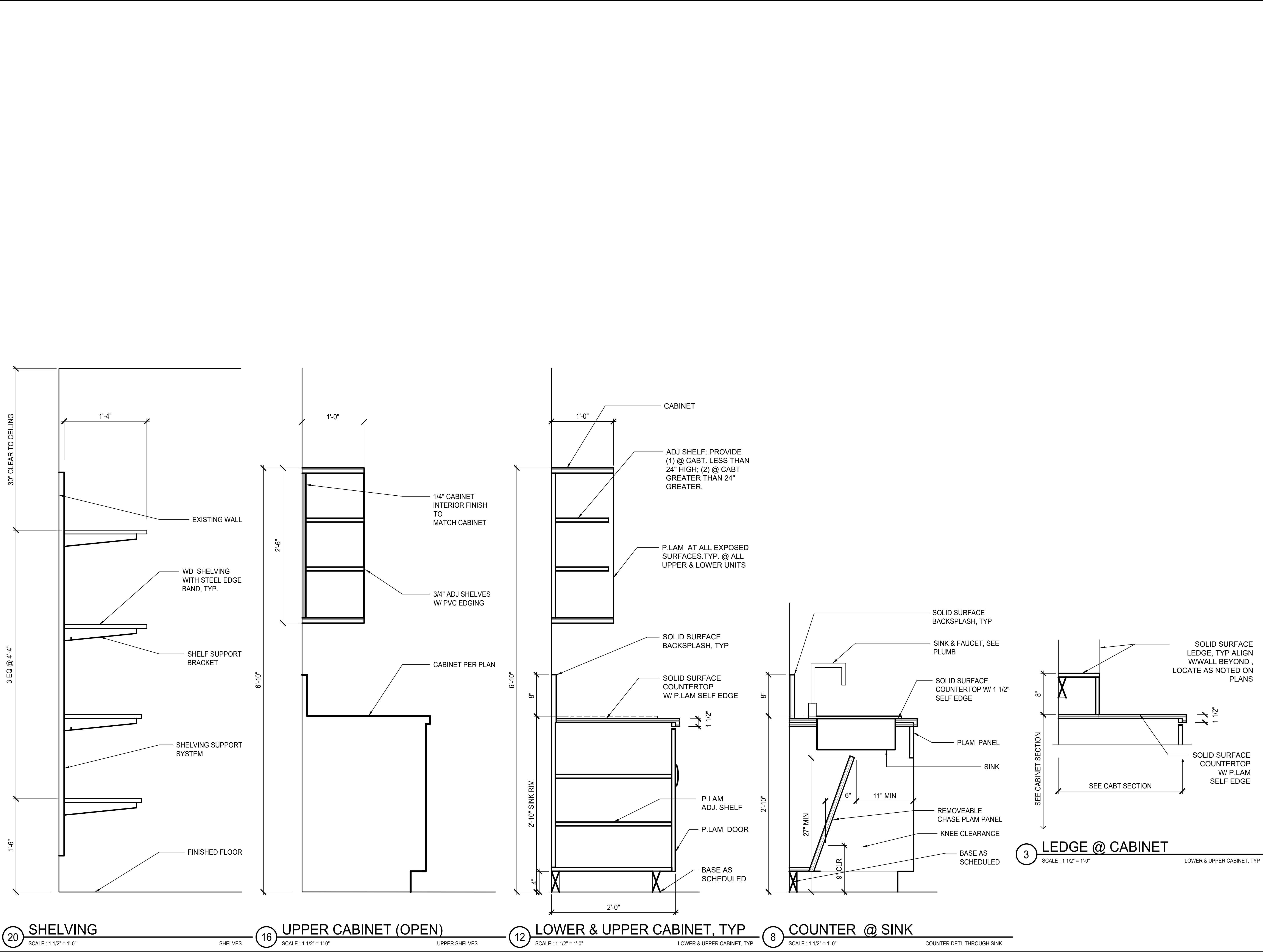
**Seattle**  
Parks & Recreation

HING HAY

**COMFORT STATION  
RENOVATION**

**DETAILS**

DESIGNED <u>SN</u>	DATE <u>2/5/2024</u>
DRAWN <u>SN/AS</u>	SHEET <u>16</u> OF <u>23</u>
CHECKED <u>AR</u>	
ORDINANCE NO. <u>124927</u>	<b>A-903</b>
SPECIFICATION NO. <u>2034</u>	
SCALE <u>VARIES</u>	



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REGISTERED ARCHITECT  
Alex E. Rolluda  
STATE OF WASHINGTON

**Seattle Parks & Recreation**

**HING HAY**

**COMFORT STATION RENOVATION**

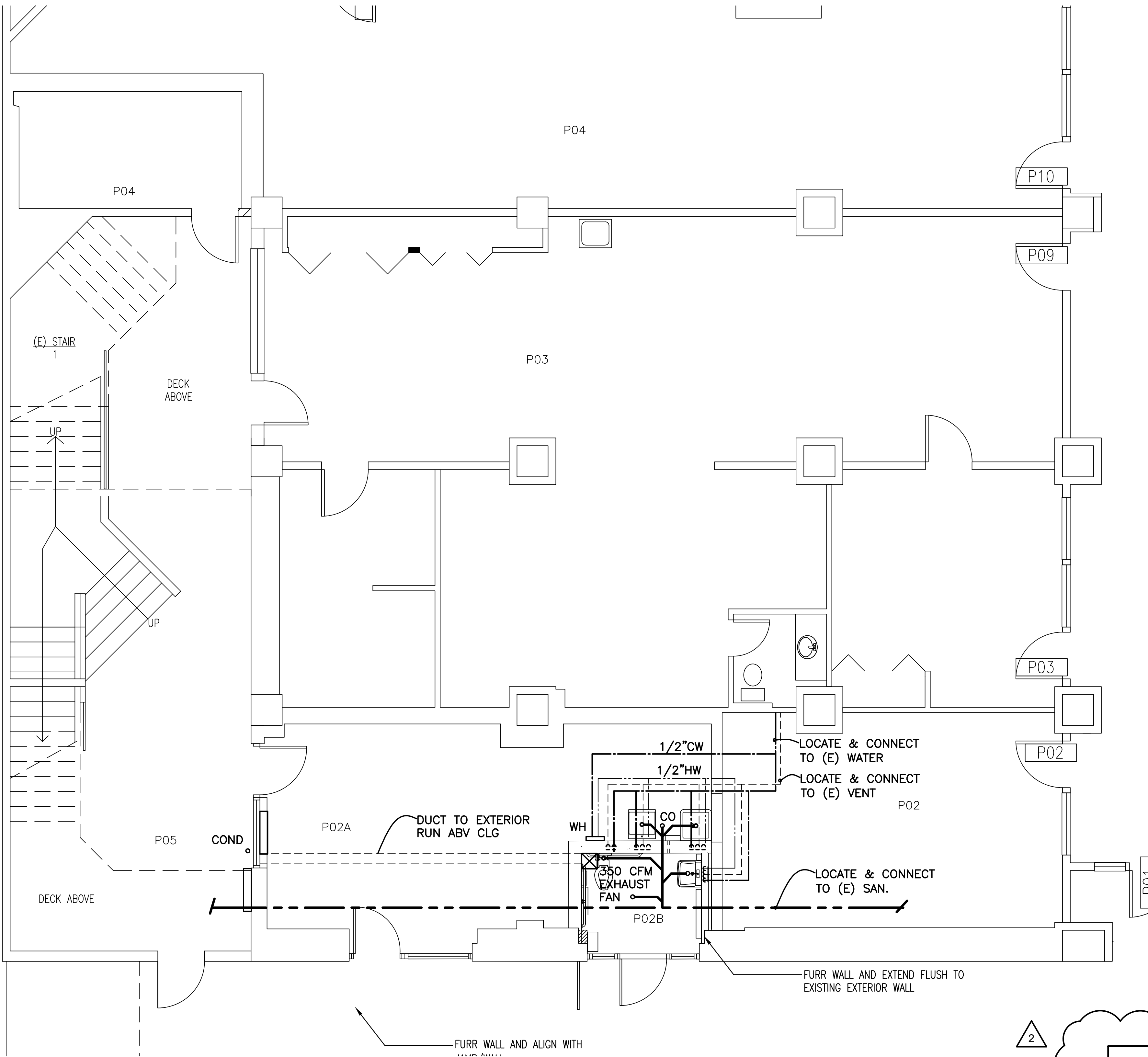
**DETAILS**

DESIGNED	SN	DATE	2/5/2024
DRAWN	SN/AS	SHEET	17 OF 23
CHECKED	AR		
ORDINANCE NO.	124927		<b>A-904</b>
SPECIFICATION NO.	2034		
SCALE	VARIES		









MECHANICAL & PLUMBING PLAN

SCALE: 1/4" = 1'-0"

1

2

FOR REFERENCE ONLY

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△	PERMIT RESPONSE	11/21/23
NO.	REVISION - AS BUILT	DATE

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COMFORT STATION  
RENOVATION

MECHANICAL PLAN

DESIGNED	SN	DATE	2/5/2024
DRAWN	SN/AS		
CHECKED	AR	SHEET	19 OF 23
ORDINANCE NO.	124927		
SPECIFICATION NO.	2034		
SCALE	1/4" = 1'-0"		

MP-101

PLUMBING FIXTURE SCHEDULE

FIXTURE NO	FIXTURE	DESCRIPTION/MANUFACTURER/MODEL NUMBERS	LOCAL PIPING CONNECTION				NOTES
			W	V	CW	HW	
P-1	WATER CLOSET	TYPE, MFR., MODEL: WALL HUNG, FLUSH VALVE: ACORN, #M2105-E500-W-1-CN-HS-W03 VALVE: ROYAL PUSH BUTTON FLUSH VALVE, #605, 3.5 GALLON FLUSHOMETER, ADA, SEAT: OPEN FRONT, SOLID PLASTIC WHITE SEAT; BEMIS OR ACORN HANGER: VERTICAL COMPACT SUPPORT MISCELLANEOUS: FLUSH CONTROL SHALL BE MOUNTED FOR USE FROM WIDE SIDE OF WATER CLOSET AREA, FITTINGS: WADE BRASS CONNECTOR HANDICAPPED – MOUNTING HEIGHT FROM FLOOR TO TOP OF SEAT SHALL BE A MAXIMUM OF 19" AND MINIMUM OF 17"	4"	2"	1"	–	HANDICAPPED
P-2	LAVATORY	TYPE, MFR., MODEL: WALL HUNG, SINGLE-HOLE, ACORNM #1953-ADA-1-9-H1-GE FAUCET: CHICAGO, TIP TP FAUCET, #409-E12, 2.2 GPM AERATOR, TRAP & TAILPIECE: MCGUIRE OR EQUAL, 1-1/2" CHROME PLATED CAST BRASS P-TRAP WITH CLEANOUT AND TAILPIECE SUPPLIES: LOOSE KEY QUARTER-TURN BALL STOP WITH FLEXIBLE BRAIDED STAINLESS STEEL RISERS; BRASSCRAFT MISCELLANEOUS: FLOOR-MOUNTED WITH CONCEALED ARMS. MISCELLANEOUS: PROVIDE INSULATION ON TRAP AND SUPPLIES PER SPECIFICATIONS	2"	1-1/2"	1/2"	1/2"	HANDICAPPED
P-3	SINK	TOP MOUNTED, ELKAY 18" X 24" X 6" DEEP, ADA FAUCETS: 8" CENTERS, SINGLE WING HANDLES, GOOSENECK SPOUT, BASKET STRAINER. CHICAGO FAUCETS NO. 1100-GN8AE3-317AB, 2.2 GPM VANDAL RESISTANT AERATOR. TRAPS & TAILPIECES: MCGUIRE, OR EQUAL, 1-1/2" CHROME PLATED CAST BRASS P-TRAP AND TAILPIECE SUPPLIES: BRASSCRAFT NO. SCR3912AC, OR EQUAL BY MCGUIRE OR EASTMAN, LOOSE KEY COMPRESSION STOPS AND FLEX SUPPLIES MISCELLANEOUS: PROVIDE WITH GARBAGE DISPOSER, CONTINUOUS FEED, COMPLETE WITH STAINLESS STEEL GRINDING COMPONENTS AND STAINLESS STEEL SINK FLANGE: WASTEKING LEGEND NO. 9930, 1/2 HP, 120V	2"	1-1/2"	1/2"	1/2"	
P-4	SINK	FREE STANDING, DOUBLE COMPARTMENT, 16-GA. STAINLESS STEEL, OVERALL 89"x29" ELKAY RNSF824BLR. FAUCETS: 8" CENTERS, SINGLE WING HANDLES, GOOSENECK SPOUT, BASKET STRAINER. CHICAGO FAUCETS NO. 445-DJ26ABCP 2.2 GPM VANDAL RESISTANT AERATOR. TRAPS & TAILPIECES: MCGUIRE, OR EQUAL, 1-1/2" CHROME-PLATED CAST BRASS P-TRAP WITH CLEANOUT & TAILPIECE. SUPPLIES: LOOSE KEY QUARTER-TURN BALL STOP WITH FLEXIBLE BRAIDED STAINLESS STEEL RISERS; BRASSCRAFT	2"	1-1/2"	1/2"	1/2"	PROVIDE JR SMITH 8710T SEDIMENT TRAP (LOCATE INSIDE OF BUILDING)
P-5	SERVICE SINK	TYPE, MFR., MODEL: FLOOR MOUNT, 24"x24", ONE PIECE, ENAMELED CAST IRON, ELJER NO. 242-0050 FAUCET:ADJUSTABLE INLETS, VACUUM BREAKER SPOUT, PAIL HOOK WITH WALL SUPPORT, INTEGRAL STOPS, 3/4" HOSE THREAD OUTLET; ZURN FAUCETS NO. Z843M1-RC TRAP & TAILPIECE: PROVIDED WITH UNDERGROUND WASTE PIPING. SUPPLIES: INTEGRAL TO FAUCET. MISCELLANEOUS: PROVIDE SERVICE SINK WITH STAINLESS STEEL WALL GUARDS, 30" LONG 3/4" HOSE AND HOSE BRACKET AND STAINLESS STEEL MOP HANGER. SEAL SEAM BETWEEN SERVICE SINK AND WALL WITH SILICONE SEALANT	3"	2"	3/4"	3/4"	FLOOR MOUNTED
P-7	FREEZELESS WALL HYDRANT	QUARTER-TURN, NON-FREEZE WALL HYDRANT WITH INTEGRAL VACUUM BREAKER AND STAINLESS STEEL BOX, LOOSE KEY, HINGED LOCKING COVER, ADJUSTABLE WALL CLAMP, NICKEL-BRONZE BOX FACE; JAY R SMITH 5509QT	–	–	3/4"	–	
P-9	TRAP PRIMER MANIFOLD	FLUSH-MTD ELECTRONIC TRAP PRIMING ASSEMBLY IN STL CABT WITH ATMOSPHERIC VACUUM BREAKER, PRE-SET 24-HOUR CHANGE, MANUAL OVERRIDE SWITCH, SOLENOID VALVE, 3/4' CONNECTION; PRIMETIME PT-4 4-VALVE UNIT, PT-6 6-VALVE UNIT, AS REQUIRED. PROVIDE ACCESS DOOR TO SUIT LOCATION. POWER CONNECTION 0.33 AMPS 120/1Ø.	–	–	3/4"	–	

ELECTRIC WATER HEATER SCHEDULE

UNIT NO.	LOCATION	MFR	MODEL	ELECTRIC ELEMENT KW	RECOVERY @ 100° F TEMPERATURE RISE	EFFICIENCY (%)	TANK SIZE (GAL)	ELECTRICAL		NOTES
								VOLT	PH	
HWT-1	WALL	TABCO	7-PS-92	3	NA	95	NA	120	1	
NOTES: 1. ASME RATED 2. TABCO OR APPROVED EQUAL 3. EFFICIENCY SHALL MEET THE MINIMUM REQUIREMENTS ON WSEC C404.2										

MECHANICAL EQUIPMENT SCHEDULE

UNIT NO.	LOCATION	MFR	MODEL	SEER	REFRIG	AMP	ENERGY STAR	BTUH	ELECTRICAL		NOTES
									VOLT	PH	
DCT-1	EXTERIOR WALL MT	PANASONIC	CU-XE9SKUA	3	R410A	3.5	YES	8700	208	1	
DCT-2	INTERIOR WINDOW MT	PANASONIC	CS-XE9SKUA	3	R410A	2.4	YES	–	208	1	
F1	CEILING RESTROOM	PANASONIC	FV-15N-F561	–	–	0.41	YES	–	120	1	150 CFM
NOTES: 1. ASME RATED 2. OR APPROVED EQUAL 3. EFFICIENCY SHALL MEET THE MINIMUM REQUIREMENTS ON WSEC C404.2											

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UTILITY NOTIFICATION CENTER  
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3. DIMENSIONS ARE IN INCHES, UNO.  
4. CONTRACTOR TO FIELD VERIFY DIMENSIONS SHOWN TO ENSURE CONSTRUCTION WILL COMPLY WITH NOTED DIMENSIONS AND REQUIREMENTS. ANTICIPATE CONSTRUCTION TOLERANCES AND MATERIALS AND FINISHES THICKNESSES. NOTIFY ENGINEER IN WRITING IF THERE ARE ANY CONFLICTS PRIOR TO START OF CONSTRUCTION.  
5. DRAWINGS. THE DRAWINGS ARE INTENDED TO DESCRIBE THE OVERALL SCOPE OF WORK. CONTRACTORS SHALL FIELD VERIFY EXISTING CONDITIONS AND ALERT THE ENGINEER TO ANY CONFLICTS BEFORE BEGINNING WORK.  
6. (E) OR 'EXIST' INDICATES EXISTING CONDITION, DIMENSION OR DATUM. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON PROJECT PRIOR TO COMMENCEMENT OF WORK.  
7. TYPICAL WALL SECTIONS, FINISHES, AND DETAILS ARE NOT INDICATED EVERYWHERE THEY OCCUR ON PLANS, ELEVATIONS, AND SECTIONS. REFER TO DETAILED DRAWINGS. CONTRACTOR TO PROVIDE AS IF DRAWN IN FULL.  
8. DETAILED AND/OR LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER GENERAL AND SMALLER SCALE DRAWINGS.  
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12. CONTRACTOR TO PROTECT EXISTING BUILDING + SITE. CONTRACTOR TO REPLACE IN KIND ANY SUCH ITEMS DAMAGED AS DIRECTED BY THE ENGINEER.  
13. CONTRACTOR SHALL PROTECT ALL OPENINGS FROM WATER PENETRATION DURING CONSTRUCTION.  
14. REPAIR, PATCH, AND PAINT ALL SURFACES SCHEDULED TO REMAIN OR MODIFIED THAT ARE DAMAGED OR AFFECTED BY WORK AS DIRECTED AND APPROVED BY THE ENGINEER  
15. REMOVE ALL FLOOR FINISHES AND BASES AS REQUIRED TO ACCEPT NEW FINISHES. PATCH REPAIR AND/OR LEVEL EXISTING FLOORS ARE REQUIRED TO ACCEPT NEW FINISHES.

△

PERMIT RESPONSE

NO.

REVISION – AS BUILT

DATE

REVIEWED:

PARK ENGINEER

DATE

All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.

rolluda architects

architecture planning interior design

90% REVIEW

Seattle Parks & Recreation

HING HAY

COMFORT STATION RENOVATION

SCHEDULES

DESIGNED \_SN\_

DRAWN \_SN\_/AS\_

CHECKED \_AR\_

DATE 2/5/2024

SHEET 20 OF 23

ORDINANCE NO. 124927

SPECIFICATION NO. 2034

SCALE 1/4" = 1'-0"

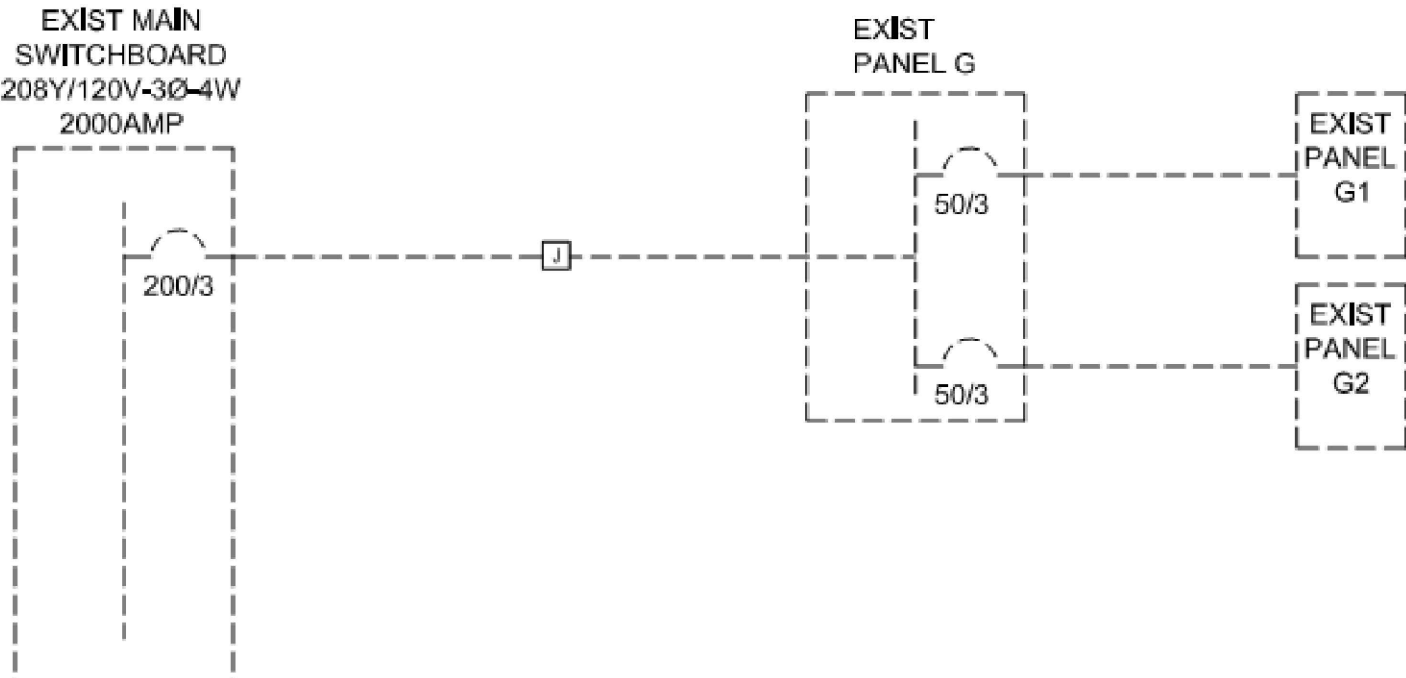
MP-301

2

FOR REFERENCE ONLY



## EXISTING PANELS SERVICE



## 1 PARTIAL ONE LINE DIAGRAM

## LIGHTING SCHEDULE

UNIT NO.	LOCATION	MFR	MODEL	RECOVERY @ 100' F TEMPERATURE RISE	COLOR	ELEC			TYPE	NOTES
						WATTS	VOLT	LUMEN		
2X2	CONCIERGE	EXISTING	NA	NA		117	120	4509		
1X4	RESTROOM	TARCO		NA	4000	115	120	3798	LED	

NOTES:

## GENERAL ELECTRICAL NOTES

1. POWER CIRCUITRY SHALL BE ROUTED THROUGH CEILINGS, WALLS,
2. WHEN CIRCUITRY CAN NOT BE LOCATED IN A WALL, CONDUIT WILL BE RUN TIGHT ALONG WALLS. PARALLEL TO COLUMNS AND STRUCTURE.
3. CONNECT CIRCUITS TO PANEL G.
4. PROVIDE AND INSTALL SUB-METERING SYSTEM
5. ISOLATE PANEL G FOR USE IN CONCIERGE, REST ROOM, AND STORAGE.
6. SUB-METER ELECTRICAL AND WATER

## SUBMETER NOTES

1. BUILDING OWNER WILL SUB-METER WATER AND ELECTRIC
2. PROVIDE SUB-METERING TO MATCH EXISTING OWNER PROVIDED COMPANY

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1. USE APPLICABLE CODES UNDER G-001, BUILDING CODE INFORMATION FOR ACCESSIBILITY REQUIREMENTS, MOST RESTRICTIVE REQUIREMENT APPLIES, UNLESS OTHERWISE NOTED.
2. ACCESSIBILITY ITEMS ARE IDENTIFIED BY THE "A" AND NOT ALL-HANDICAPED ITEMS. SHOW SHALL BE USED WHERE ACCESSIBLE WORK IS IDENTIFIED IN THESE DOCUMENTS. CONTRACTOR SHALL THOROUGHLY REVIEW THESE DOCUMENTS; HOWEVER, ANY CONFLICTS IN THESE DOCUMENTS SHALL BE RESOLVED BY THE CONTRACTOR SHALL BE THE ENGINEER IN WRITING PRIOR TO PURCHASE, INSTALLATION, AND CONSTRUCTION OF ANY ELEMENT OF THE WORK.
3. DIMENSIONS ARE IN INCHES, UNLESS NOTED.
4. CONTRACTOR SHALL FIELD DIMENSIONS SHOW TO ENSURE CONSTRUCTION WILL COMPLY WITH NOTED DIMENSIONS AND REQUIREMENTS. ANTICIPATE CONSTRUCTION TOLERANCES AND MATERIALS AND FINISHES THICKNESSES. NOTIFY ENGINEER IF THERE ARE ANY CONFLICTS PRIOR TO START OF CONSTRUCTION.
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11. CONTRACTOR TO COORDINATE ALL OPERATIONS WITH THE DESIGNER. THIS INCLUDES, BUT IS NOT LIMITED TO, SEQUENCING AND STAGING, INTERUPTION OF ELECTRICAL AND MECHANICAL SERVICES AND TIMING OF NOISE AND DISRUPTIVE OPERATIONS. CONTRACTOR TO VERIFY SEQUENCE OF WORK WITH ENGINEER.
12. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES ON SITE. CONTRACTOR TO REPLACE IN KIND ANY SUCH ITEMS DAMAGED AS DIRECTED BY THE ENGINEER.
13. CONTRACTOR SHALL PROTECT ALL OPENINGS FROM WATER PENETRATION DURING CONSTRUCTION.
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15. REMOVE ALL FLOOR FINISHES AND BASES AS REQUIRED TO ACCEPT NEW FINISHES. PATCH REPAIR AND/OR LEVEL EXISTING REPAIRS AND FINISHES.

NO.	REVISION - AS BUILT	DATE

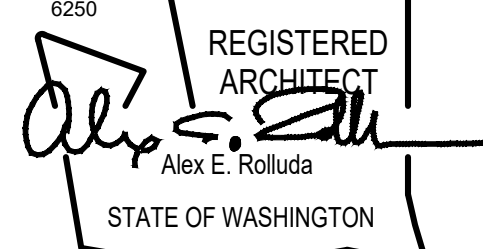
REVIEWED: \_\_\_\_\_ DATE \_\_\_\_\_

PARK ENGINEER

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**rolluda architects**  
architecture planning interior design

## 90% REVIEW



**HING HAY**

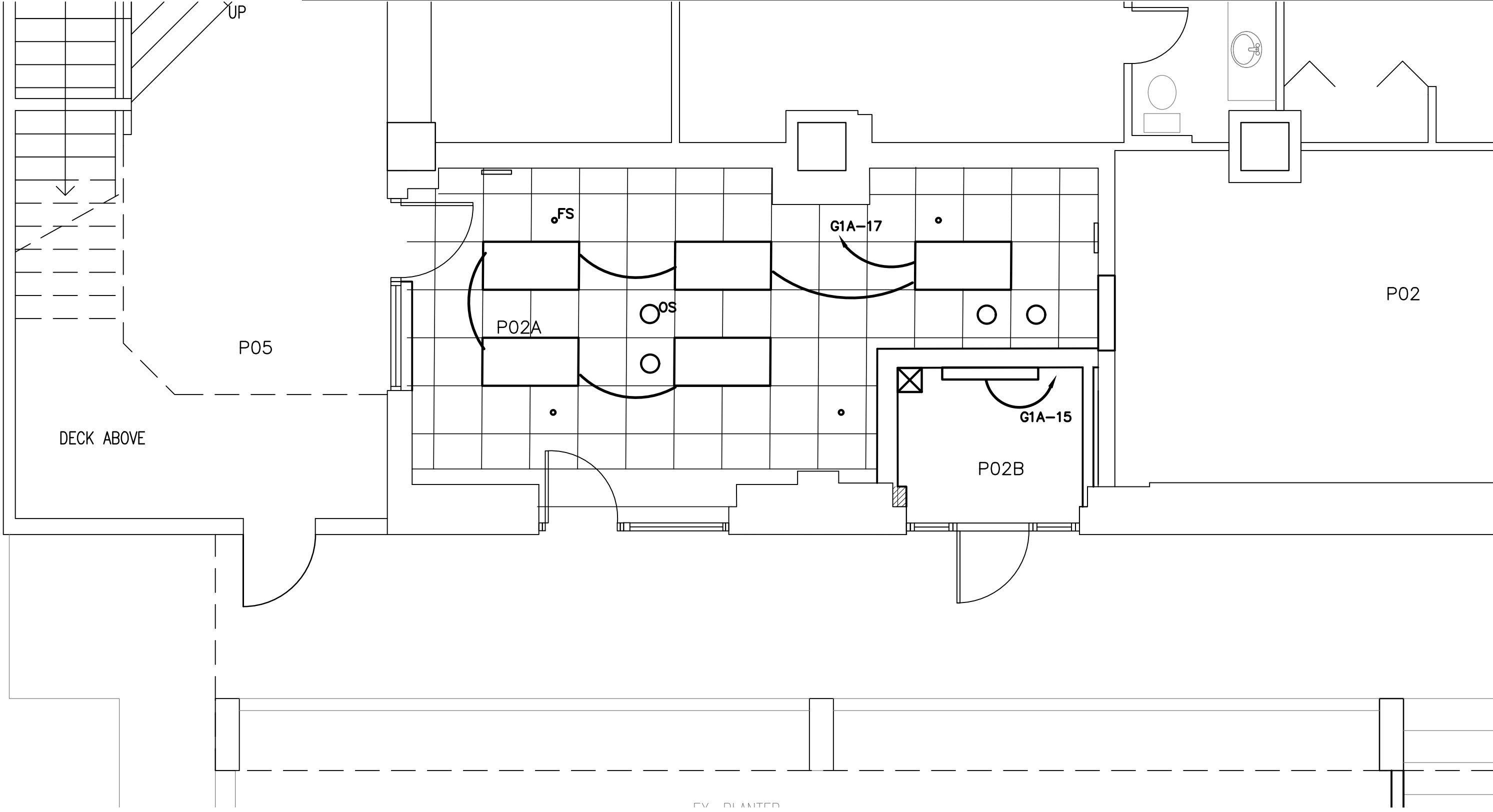
# COMFORT STATION RENOVATION

## ELECTRICAL SCHEDULES

DESIGNED <u>SN</u>	DATE <u>2/5/2024</u>
DRAWN <u>SN/AS</u>	SHEET <u>21</u> OF <u>23</u>
CHECKED <u>AR</u>	
ORDINANCE NO. <u>124927</u>	<b>E-001</b>
SPECIFICATION NO. <u>2034</u>	
SCALE <u>1/4" = 1'-0"</u>	



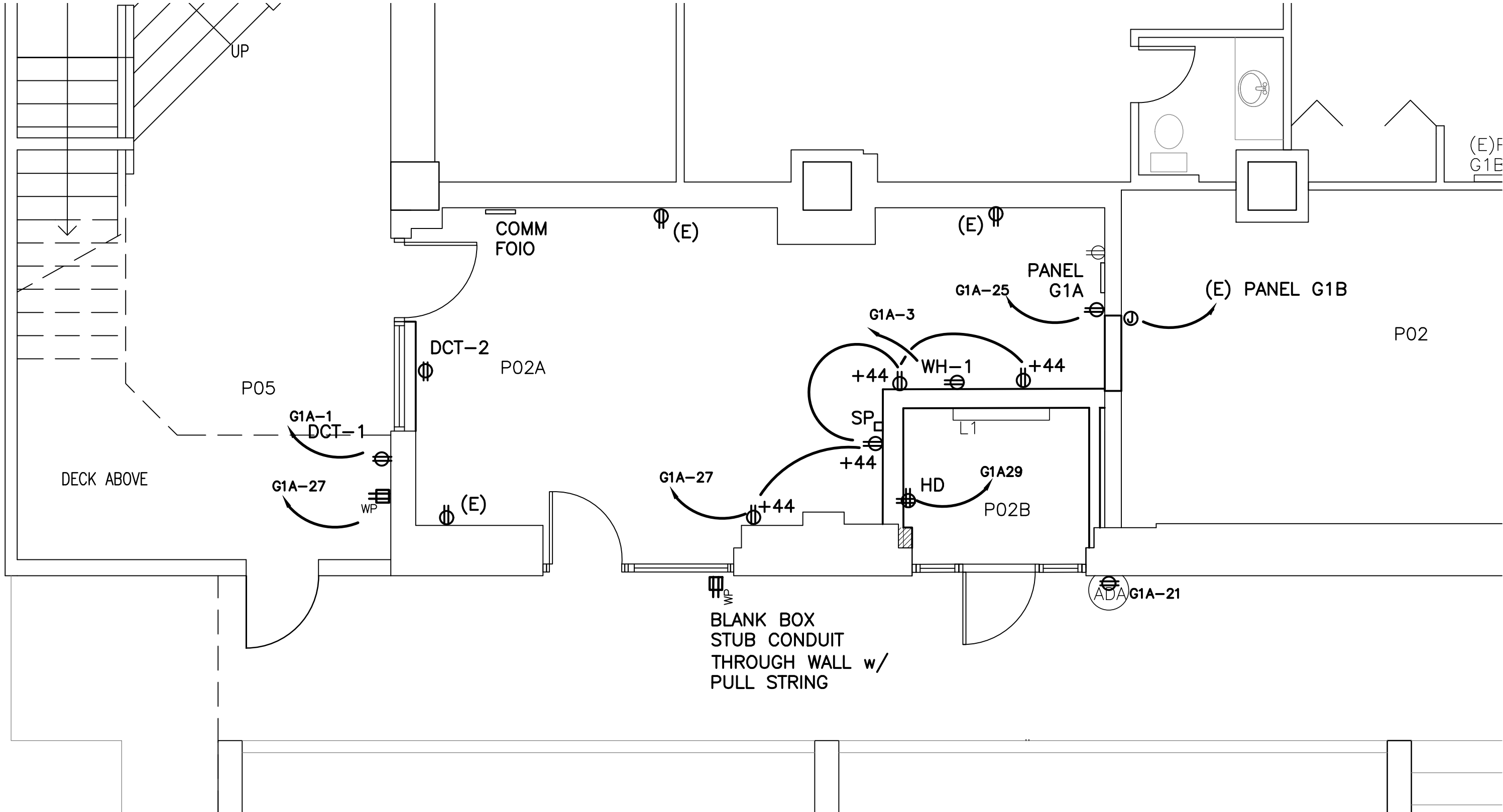
LIGHTING SCHEDULE										
UNIT NO.	LOCATION	MFR	MODEL	RECOVERY @ 100° F TEMPERATURE RISE	COLOR	ELEC			TYPE	NOTES
						WATTS	VOLT	LUMEN		
2X2	CONCIERGE	EXISTING	NA	NA		117	120	4509		
1X4	RESTROOM	TABCO		NA	4000	115	120	3798	LED	
NOTES:										



LIGHTING PLAN

SCALE: 1/4" = 1'-0"

2



ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

1



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UTILITY NOTIFICATION CENTER  
BEFORE YOU DIG!  
WWW.CALL811.COM

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NO.	REVISION - AS BUILT	DATE
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REVIEWED: PARK ENGINEER DATE

All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.

rolluda architects  
architecture planning interior design

90% REVIEW

6250  
REGISTERED  
ARCHITECT  
Alex E. Rolluda  
STATE OF WASHINGTON

Seattle  
Parks & Recreation

HING HAY

COMFORT STATION  
RENOVATION

ELECTRICAL PLANS

DESIGNED	SN	DATE	2/5/2024
DRAWN	SN/AS		
CHECKED	AR	SHEET	22 OF 23
ORDINANCE NO.	124927		
SPECIFICATION NO.	2034		
SCALE	1/4" = 1'-0"		

E-101

## ELECTRICAL PANEL

1. POWER CIRCUITRY SHALL BE ROUTED THROUGH CEILINGS, WALLS,
2. WHEN CIRCUITRY CAN NOT BE LOCATED IN A WALL, CONDUIT WILL BE RUN TIGHT ALONG WALLS, PARALLEL TO COLUMNS AND STRUCTURE.
3. PROVIDE AND INSTALL BUILDING OWNER SUPPLIED SUB-METERING SYSTEM FOR WATER AND ELECTRICAL. ISOLATE CONCIERGE, REST ROOM, AND STORAGE.
4. REMOVE LIGHTING, MICROWAVE, AND RECEPTACLES FROM ADJACENT SPACE AND MOVE TO PANEL G1

EXISTING PANEL G	VOLTS 208 / 120	3 PHASE, 4 WIRE, WYE
MOUNTING: SURFACE	AMPS 200	
AIC 10.000	MAIN CIRCUIT BEAKER	GROUND BUS
FEED FROM MAIN DISCONNECT		

CCT NO.	CCT BRKR	DESCRIPTION	LOAD KVA	CCT NO.	CCT BRKR	DESCRIPTION	LOAD KVA
1	20/1	LIGHTS	1.00	1	20/1	LIGHTS	1.00
3	20/1	LIGHTS	1.00	3	20/1	LIGHTS	1.00
5	20/1	RECEPTS	0.54	5	20/1	RECEPTS	0.54
7	20/1	RECEPTS	0.54	7	20/1	RECEPTS	0.54
9	20/1	RECEPTS	0.54	9	20/1	RECEPTS	0.54
11	20/1	RECEPTS	0.54	11	20/1	RECEPTS	0.54
13	20/1	RECEPTS	0.54	13	20/1	RECEPTS	0.54
15	20/1	RECEPTS	0.54	15	20/1	RECEPTS	0.54
17	20/1	RECEPTS	0.54	17	20/1	REFER	0.70
19	20/1	REFER	0.70	19	20/1	MICRO	1.00
21	20/1	MICRO	1.00	23	20/1	RECEPTS	0.18
23	20/1	RECEPTS	0.18	25	20/1	RECEPTS	0.36
25	20/1	RECEPTS	0.36	27	20/1	WALL HEATER	0.75
27	20/1	WALL HEATER	0.75	29	20/1	SPARE	0.00
29	20/1	SPARE	0.00	31	20/1	SPARE	0.00
31	20/1	SPARE	0.00	33	20/1	SPARE	0.00
33	20/1	SPARE	0.00	37	20/1	SPARE	0.00
37	20/1	SPARE	0.00	39	20/1	SPARE	0.00
39	20/1	SPARE	0.00	41	20/1	SPARE	0.00
41	20/1	SPARE	0.00				

CONNECTED LOAD KVA	DEMAND FACTOR		DEMAND KVA	LOAD KVA
LIGHTS	5.00	125%	6.25	17.5
RECEPTACLES	11.88	100%	11.88	32.2
HEATING	0.75	100%	0.75	2.0
LARGEST MOTOR	0.00	125%	0.00	0.0
OTHER MOTORS	0.70	100%	0.70	1.9
MISCELLANEOUS	1.00	100%	1.00	2.8
KITCH. APPLIANCES	1.70	100%	1.70	4.7
	21.03		22.28	61.8

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9. NOTWITHSTANDING THE ABOVE, CONTRACTOR TO PERMIT AN INSTALLATION IN VIOLATION OF APPLICABLE CODES. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, RESTRICTIONS, REQUIREMENTS, AND CODES OF THE GOVERNING JURISDICTIONS.
10. CONTRACTOR TO COORDINATE ALL OPERATIONS WITH THE ENGINEER. INCLUDING: SITE ACCESS, MATERIALS STORAGE, AND STAGING, INTERRUPTION OF ELECTRICAL AND MECHANICAL SERVICE AND TIMING OF NOISY AND DISRUPTIVE OPERATIONS. CONTRACTOR TO BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE, LEVEL, PLUMB, AND SQUARE.
11. CONTRACTOR TO PROTECT EXISTING BUILDING + SITE. CONTRACTOR TO REPLACE IN KIND ANY SUCH ITEMS DAMAGED AS A RESULT OF THE WORK.
12. CONTRACTOR SHALL PROTECT ALL OPENINGS FROM WATER PENETRATION DURING CONSTRUCTION.
13. REPAIR, PATCH, AND PAINT ALL SURFACES SCHEDULED TO REMAIN IN PLACE THAT WILL BE AFFECTED BY WORK AS DIRECTED AND APPROVED BY THE ENGINEER.
14. REMOVE ALL FLOOR FINISHES AND BASES AS REQUIRED TO EXPOSE EXISTING CONDITIONS. CONTRACTOR SHALL VERIFY ALL EXISTING FINISHES ARE REQUIRED TO ACCEPT NEW FINISHES.

NO.	REVISION - AS BUILT	DATE

REVIEWED: \_\_\_\_\_  
PARK ENGINEER DATE

All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.

**rolluda architects**  
architecture planning interior design

## 90% REVIEW



**HING HAY**

# COMFORT STATION RENOVATION

## PANEL SCHEDULE

DESIGNED <u>SN</u>	DATE <u>2/5/2024</u>
DRAWN <u>SN/AS</u>	SHEET <u>23</u> OF <u>23</u>
CHECKED <u>AR</u>	
ORDINANCE NO. <u>124927</u>	<b>E-301</b>
SPECIFICATION NO. <u>2034</u>	
SCALE <u>1/4" = 1'-0"</u>	