

**INVITATION FOR BIDS**

**CONSTRUCTION**

**for**

**Hing Hay Park Comfort Station**

**2025 Jan 17**

**Seattle Chinatown International District  
Preservation and Development Authority**  
409 Maynard Avenue South,  
Suite P2  
Seattle, WA 98104

**Seattle Chinatown International District Preservation and Development  
Authority (SCIDpda)**

**Invitation for Bids**

for

**Construction Contract**

for

**Hing Hay Park Comfort Station (Phase I)**

**1. Introduction to RFQ**

Submittals will be received at the Seattle Chinatown International District Preservation and Development Authority (“SCIDpda”), 409 Maynard Avenue South, Seattle, Washington 98104, until 2:00 PM local time on February 5, 2025 for:

**Providing construction services for core/shell for a City of Seattle owned and operated “comfort station” at the Bush Hotel, a landmarked building, King County Parcel No. 1275150000, which is directly north of and adjacent for Hing Hay Park. The properties are more fully described and depicted in Exhibit A.**

SCIDpda is requesting bids and statements of qualifications from construction firms for a build out of the core and/or shell of the Hing Hay Park Comfort Station in the City of Seattle.

The response to this solicitation should therefore describe the specific type of experience, identify the composition of the construction team, and include resumes of all key personnel who will be assigned to the project. The response must also describe the scope of services to be provided, team organization, and management plan.

The submission should be limited to responding to the above and as further described later in this solicitation. The Project Team’s intent is to issue this RFQ, review all submitted information, short list for interview, and then make a final selection.

Firms may be asked to submit supplemental information during the review of submittals or at the interview. The proposed schedule in 2025 for design team selection is as follows:

- |                   |  |
|-------------------|--|
| 1. January 17     | Public Issuance of RFQ   |
| 2. January 30     | Mandatory site walkthrough for all interested firms at 10:00 AM PST    |
| 3. February 5     | Submittals due to SCIDpda by 2:00 PM PST (1 electronic, 3 hard copies) |
| 4. February 10    | Notice of Short-Listed Firms   |
| 5. February 12-19 | Interviews with Firms  |
| 6. February 21    | Select Firm and Negotiate contract                                     |

The remaining sections of this solicitation are organized as follows:

- Part 2 presents an overview of the project.
- Part 3 describes the required tasks of this effort.
- Part 4 describes the criteria for selecting the consultant who will perform these services.
- Part 5 delineates other conditions and requirements of this solicitation.
- Part 6 specifies the instructions for submittals.

**Please read the entire RFQ carefully prior to preparing the submittal.**

## **2. Overview of the Hing Hay Park Comfort Station (Phase I)**

### General Description

SCIDpda is seeking bids for construction of PHASE 1 of the Hing Hay Park Comfort Station. The Construction Project will take place within the real property owned by SCIDpda and known as the Bush Hotel, a landmarked building, King County Parcel No. 1275150000, which is directly north of and adjacent for Hing Hay Park. The City owns the real property known as Hing Hay Park, King County Parcel No. 5247901945, located in Seattle's Historic International District. PHASE 1 shall consist of construction of the core and/or shell of the City Facilities.

### Design Documents

Comfort Station Renovation Plans are available in Exhibit A.

### Anticipated Project Schedule

Contractor selection and contract negotiation	Q1 2025
Construction begins	Q2 2025
Project completion	Q2 or Q3 2025

### 3. Required Work Tasks

#### Construction

PHASE 1 shall be managed by SCIDpda as the lead and performed by the contractor. The contractor's work in PHASE 1 shall consist of construction of the core and/or shell of the City's Facilities to include:

- a) Complete a survey of the future City Facilities spaces of the areas depicted in Exhibit B, the "City Facilities" that meets the standard for condominium units per RCW 64.34.232.
- b) Complete separately connected and metered utility connections including but not limited to plumbing, power, gas, data, fire sprinklers per design;
- c) Disconnection of non-shared utilities including plumbing, power, gas, data, fire sprinklers and removal of miscellaneous conduit and duct lines per design;
- d) Contract a qualified professional to assess the City Facilities for hazardous materials. A licensed contractor shall abate any identified materials that exceed permissible levels, in compliance with applicable laws, before start of demolition work.
- e) Rough finish of concrete floor slab with required power conduits, floor and plumbing drain connections to the main per design, with floor elevation and slopes compliant with ADA per design, ready to receive design flooring materials;
- f) Fire rated construction of tenant's demising walls per design, to extend from floor slab to structure above sealed with a fire rated sealant; sound insulation in tenant's demising walls, per design, to STC 45 or higher; wall stud spacing of 16" max; in-wall solid blocking where required for all wall mounted fixtures; in-wall plumbing lines with supply lines and drains at required locations; separate meter for in-wall electrical and data conduit lines with electrical boxes for junction boxes, outlets, switches; gypsum wall board, Type X, or moisture resistant (green board), 5/8" thick, unless otherwise noted in design, with smooth surface, mud and taped joints, ready to receive final texture and paint;
- g) Rough connections at ceiling, or structure above for internal plumbing, HVAC ducting, electrical and data connections and outlets.
- h) Secure Landmarks approval as applicable for exterior modifications per design and modify exterior to include lighting, door and window assemblies with hardware, finish and paint to match existing.

## 4. Criteria for Selection

In order to qualify for consideration for an interview, the respondent **must meet** the following requirements. Failure to meet all the requirements is just cause for rejection of the response by the Project Team.

**The Respondent shall specifically address, in order, each of the following requirements in the response to this RFQ:**

**Criterion #1:** The respondent must have provided construction for a similar project(s) within the past five (5) years. The submittal must identify the specific project(s) which qualify under this criterion.

**Criterion #2:** The respondent identifies and has on staff a Project Lead, a Project Manager, Project Superintendent and Lead estimator who have experience in similar projects. The submittal must include resumes for all key team members and identify their availability during the project schedule as described.

**Criterion #3:** The respondent demonstrates the ability of the team to absorb the anticipated workload during the anticipated time period for this construction effort and to provide sufficient qualified staff commensurate with the proposed schedule at all times.

**Criterion #4:** The respondent provides an example of the firm's experience with similar projects and WMBE participation on the project. It is imperative that the respondent demonstrate a strong commitment to and history of supporting WMBE and working with communities/organizations of color.

**Criterion #5:** The respondent provides a proposed scope of services which describes all work tasks and explains how the team will complete each task or work element.

**Criterion #6:** The respondent provides at least 3 references for similar projects.

**Criterion #7:** The respondent provide the following General Contractor documents:

- Current Washington State General Contractors License
- Proof of General Liability Insurance
- Current bonding capacity
- Disclosure of any claims, lawsuits or formal disputes over work or services in the past five (5) years exceeding \$50,000

**Criterion #8:** The respondent proposes a fixed fee for construction services as described above. SCIDpda and project funders will require Washington State Prevailing residential wages are paid on the project.

## 5. Other Conditions & Requirements

- a) All submittals for this RFQ received by the Project Team shall remain valid for ninety (90) days from the date of submittal.
- b) The Project Team reserves the right to reject any or all submittals if none of the submissions are responsive to its needs.
- c) The Project Team is not liable for any cost incurred by the submitter prior to execution of the contract.
- d) Compensation for services by the selected contractor for this construction services will be negotiated with said contractor.
- e) The contract between the successful submitter and the Project Team shall include all documents mutually entered into, specifically including the contract instrument and the response to the RFQ. The contract must include, and be consistent with, the specifications and provisions stated in the RFQ.
- f) The Project Team prioritizes minority- and women-owned firms and community-based organizations to submit proposals. Women-owned firms shall be at least 51 percent owned and controlled by women, and minority-owned firms at least 51 percent owned and controlled by minority persons. Minority person shall mean any ethnic minority person who is a resident of the United States or its territories, including Asians/Pacific Islanders, persons of African descent, Hispanics, and Native Americans/Alaskan Natives. Minority- and women-owned firms shall be certified with the Washington State Office of Minority and Women's Business Enterprises.
- g) SCIDpda and project funders will require Washington State Prevailing residential wages are paid on the project.

## 6. Required Submittal Instructions

1. On the cover sheet of the response, the respondent shall list the following information of the prime consultant: firm name, address, phone number, email address, and name of contact person. The title of the submittal shall be: **Hing Hay Park Comfort Station: Proposal and Statement of Qualifications**
2. One (1) electronic and three (3) hard copies of the information to be submitted shall be prepared in accordance with, and in the order of, the format guidelines below. Failure to comply is just cause for rejection of the response by the Project Team.
3. The order of information presentations must be as follows:
4. Section 1: Response to RFQ Criteria. Specific responses to each of the eight criteria described in Part 4 of this solicitation. Submitters may include suggestions for additional tasks, innovative ideas, or alternative procedures for completing this project.
5. Section 2: Supplemental Relevant Project Descriptions. As a supplement, expand on the previously identified projects in the Criteria for Selection section. Please include a list of references for similar other projects performed by the design team.
6. **Hard copy submittals are due at SCIDpda's Main Office, 409 Maynard Avenue South, Suite P2, Seattle, Washington 98104, by no later than 2:00 PM local time on February 5, 2025.**
7. Any questions about this solicitation must be submitted in writing on the attached form to SCIDpda via email, addressed to An Huynh, Director of Community Development, at [AnH@scidpda.org](mailto:AnH@scidpda.org). Deadline for receipt of questions is 2:00 PM, local time on January 31, 2025.
8. The Project Team's response to the questions posed above will be emailed to all requesters of the RFQ by 5 PM local time on February 3, 2025.
9. The Project Team may cancel this RFQ at any time for any reason.
10. Submittals are limited to ten (10) double-sided pages for a total of twenty (20) pages.

**SHEET FOR INVITATION TO BID CLARIFICATION  
QUESTIONS**

**Construction Contract  
Hing Hay Park Comfort Station**

Date: _____	No. of Pages (including cover) _____
TO: An Huynh Director of Cmnty Dev. SCIDpda <b>Direct Line: 206-838-8715</b> <b>Email: <a href="mailto:AnH@scidpda.org">AnH@scidpda.org</a></b>	From: _____ _____ _____ _____

Please print or type your questions here and email



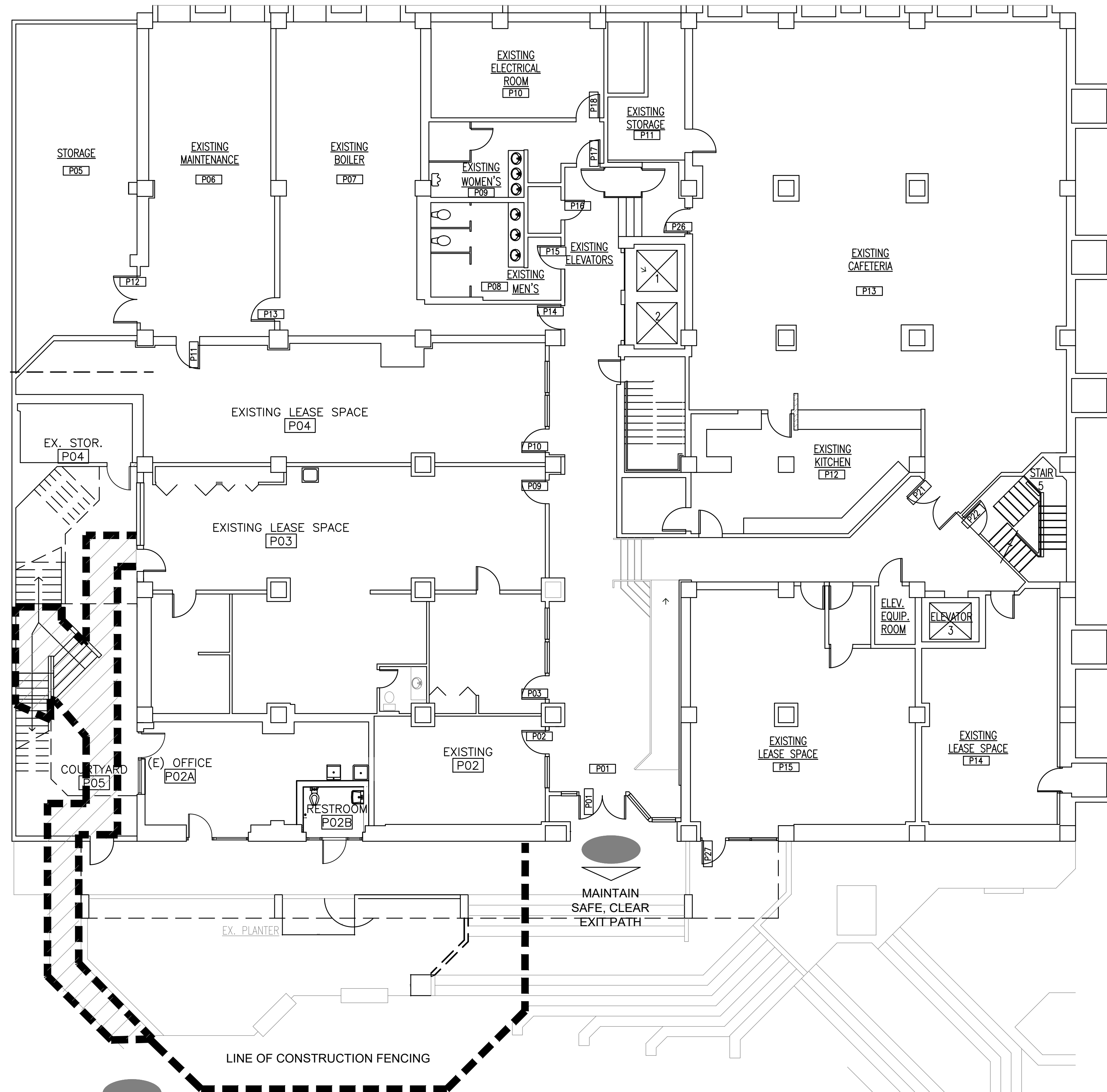
## **EXHIBIT A**





>>>>CAUTION - CALL 811<<<<  
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 WWW.CALL811.COM

Also, verify all underground utilities not located by the 811 service by using a commercial location service and call SPR Inspection Request Line (206) 684-7034.



- SEE APPLICABLE CODES UNDER G-001, BUILDING CODE INFORMATION FOR ACCESSIBILITY REQUIREMENTS. MOST RESTRICTIVE REQUIREMENT APPLIES, UNO.
- ACCESSIBILITY DETAILS SHOWN ARE TYPICAL AND NOT ALL-INCLUSIVE. DETAILS SHOWN SHALL BE USED WHERE ACCESSIBLE WORK IS IDENTIFIED IN THESE DOCUMENTS. CONTRACTOR SHALL THOROUGHLY REVIEW THESE DOCUMENTS. SHOULD ANY CONFLICTS IN THESE DOCUMENTS ARISE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING PRIOR TO PURCHASE, INSTALLATION, AND CONSTRUCTION OF ANY ELEMENT OF THE WORK.
- DIMENSIONS ARE IN INCHES, UNO.
- CONTRACTOR TO FIELD VERIFY DIMENSIONS SHOWN TO ENSURE CONSTRUCTION WILL COMPLY WITH NOTED DIMENSIONS AND REQUIREMENTS. ANTICIPATE CONSTRUCTION TOLERANCES AND MATERIALS AND FINISHES THICKNESSES. NOTIFY ENGINEER IN WRITING IF THERE ARE ANY CONFLICTS PRIOR TO START OF CONSTRUCTION.
- DRAWINGS - THE DRAWINGS ARE INTENDED TO DESCRIBE THE OVERALL SCOPE OF WORK. CONTRACTORS SHALL FIELD VERIFY EXISTING CONDITIONS AND ALERT THE ENGINEER TO ANY CONFLICTS BEFORE BEGINNING WORK.
- (E) OR 'EXIST' INDICATES EXISTING CONDITION, DIMENSION OR DATUM. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON PROJECT PRIOR TO COMMENCEMENT OF WORK.
- TYPICAL WALL SECTIONS, FINISHES AND DETAILS ARE NOT INDICATED EVERYWHERE THEY OCCUR ON PLANS, ELEVATIONS, AND SECTIONS. REFER TO DETAILED DRAWINGS. CONTRACTOR TO PROVIDE AS IF DRAWN IN FULL.
- DETAILED AND/OR LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER GENERAL AND SMALLER SCALE DRAWINGS.
- UNLESS OTHERWISE NOTED, ALL ANGLES TO BE RIGHT ANGLES, ALL LINES WHICH APPEAR PARALLEL ARE TO BE PARALLEL, AND ALL ITEMS WHICH APPEAR CENTERED ARE TO BE CENTERED. CONTRACTOR TO BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE, LEVEL, PLUMB, AND SQUARE.
- NOTHING IN THE DRAWINGS SHALL BE CONSTRUED TO PERMIT AN INSTALLATION IN VIOLATION OF APPLICABLE CODES. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES, REGULATIONS, RESTRICTIONS, REQUIREMENTS, AND CODES OF THE GOVERNING JURISDICTIONS.
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- CONTRACTOR SHALL PROTECT ALL OPENINGS FROM WATER PENETRATION DURING CONSTRUCTION.
- REPAIR, PATCH, AND PAINT ALL SURFACES SCHEDULED TO REMAIN OR MODIFIED THAT ARE DAMAGED OR AFFECTED BY WORK AS DIRECTED AND APPROVED BY THE ENGINEER.
- REMOVE ALL FLOOR FINISHES AND BASES AS REQUIRED TO ACCEPT NEW FINISHES. PATCH REPAIR AND/OR LEVEL EXISTING FLOORS ARE REQUIRED TO ACCEPT NEW FINISHES.

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2		
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NO.	REVISION - AS BUILT	DATE

REVIEWED: \_\_\_\_\_ DATE \_\_\_\_\_  
 PARK ENGINEER

All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.

**rolluda architects**  
 architecture planning interior design

**100% Submission**



**Seattle Parks & Recreation**

HING HAY PARK

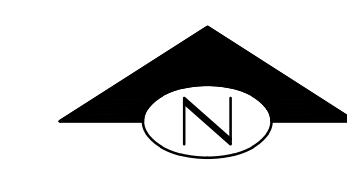
**COMFORT STATION RENOVATION**

**STAGING PLAN**

DESIGNED SN	DATE 04/10/2020
DRAWN SN/AS	
CHECKED AR	SHEET 3 of 22
ORDINANCE NO. 124927	<b>G-003</b>
SPECIFICATION NO. 2034	
SCALE 1/8" = 1'-0"	

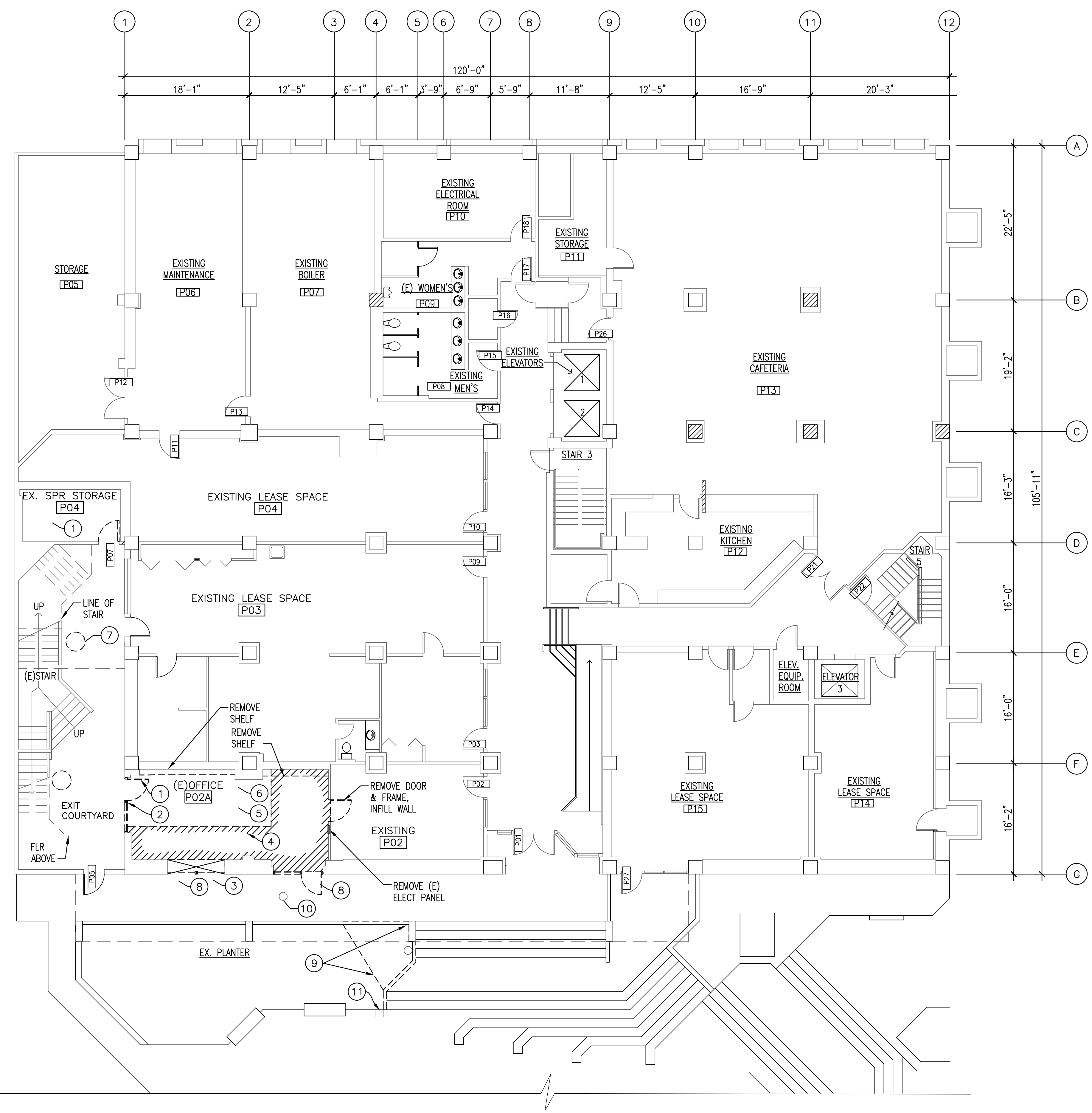


**1 STAGING PLAN**  
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Also, verify all underground utilities not located by the 811 service by using a commercial location service and call SPR Inspection Request Line (206) 684-7034.



**DEMOLITION NOTES**

- ① REMOVE DOOR AND FRAME AS REQUIRED BY DETAILS AND FOR NEW DOOR
- ② REMOVE GLAZING AND STOPS. PREPARE FOR NEW GLAZING
- ③ SAWCUT & REMOVE 18" H CONCRETE FLUSH TO FLOOR. PREPARE FOR FINISH FLOORING
- ④ SAWCUT AND REMOVE CONCRETE SLAB. COORDINATE W/ PLUMBING. LOCATE (E) SAN SEWER
- ⑤ REMOVE SUSPENDED CEILING TILES. REMOVE LOOSE PAINT ABOVE SUSP. CEILING
- ⑥ REMOVE VINYL FLOOR TILE
- ⑦ REMOVE PLANTER. REMOVE IRRIGATION SYSTEM TO SOURCE
- ⑧ SEE DETAILS. REMOVE WINDOW FRAME AS REQUIRED FOR NEW WORK. SAWCUT AND REMOVE WALL FOR NEW DOOR.
- ⑨ CONTRACTOR TO SAWCUT AND REMOVE PLANTER WALL & IRRIGATION SYSTEM. REMOVE SOIL AND ADD NEW LANDSCAPING AS NEEDED. CUT DRAIN & CONNECT/EXTEND TO DRAIN LINE BELOW. COORDINATE WITH NEW WORK. IRRIGATION & PLANTING BY OTHERS.
- ⑩ PROTECT FLOOR DRAIN
- ⑪ REMOVE & RELOCATE GARBAGE & SLAB

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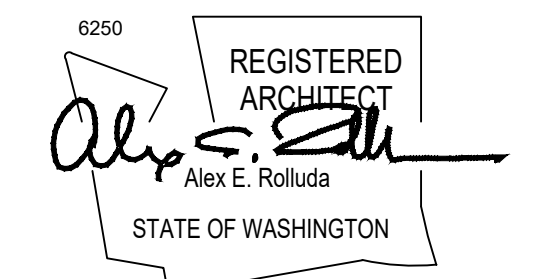
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NO.	REVISION - AS BUILT	DATE

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**rolluda architects**  
 architecture planning interior design

**100% Submission**



**Seattle Parks & Recreation**

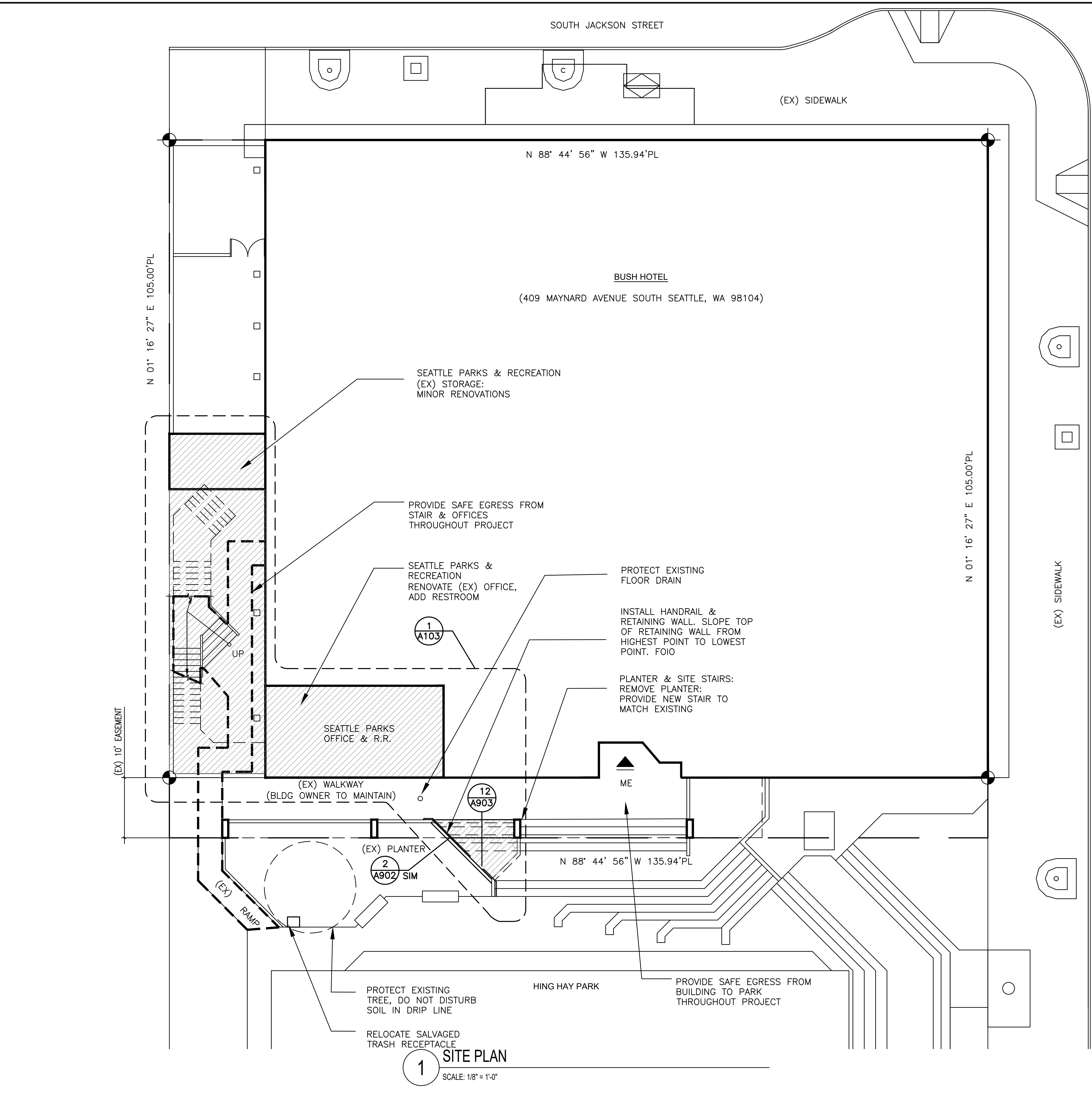
HING HAY PARK

**COMFORT STATION RENOVATION**

**DEMOLITION PLAN**

DESIGNED SN	DATE 04/10/2020
DRAWN SN/AS	SHEET 4 OF 22
CHECKED AR	
ORDINANCE NO. 124927	<b>AD101</b>
SPECIFICATION NO. 2034	
SCALE 1/8" = 1'-0"	

**1 LOWER LEVEL DEMO PLAN**  
 1/8" = 1'-0"



**1 SITE PLAN**  
SCALE: 1/8" = 1'-0"

**BUILDING OWNER:**  
SCDPDA  
409 MAYNARD AVE S  
SEATTLE, WA 98104

**PROJECT/CONDO OWNER:**  
SEATTLE PARKS RECREATION  
800 MAYNARD AVE S  
SEATTLE, WA 98104



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NO.	REVISION - AS BUILT	DATE

REVIEWED: \_\_\_\_\_ DATE \_\_\_\_\_  
PARK ENGINEER

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**rolluda architects**  
architecture planning interior design

**100% Submission**

6250 REGISTERED ARCHITECT  
*Alex E. Rolluda*  
Alex E. Rolluda  
STATE OF WASHINGTON

**Seattle Parks & Recreation**

**HING HAY PARK**

**COMFORT STATION RENOVATION**

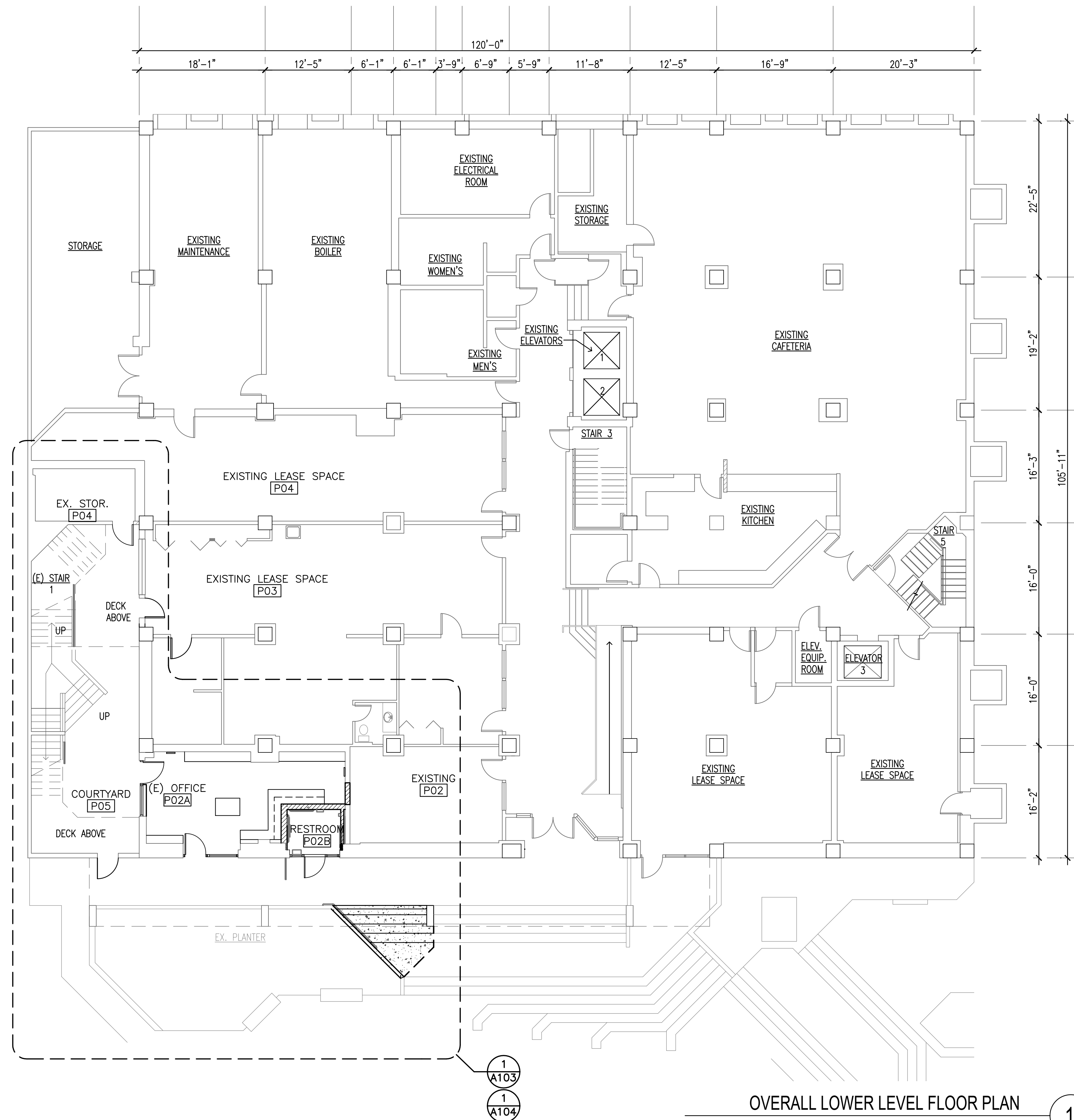
**SITE PLAN**

DESIGNED SN	DATE 04/10/2020
DRAWN SN/AS	SHEET 5 of 22
CHECKED AR	
ORDINANCE NO. 124927	<b>A-101</b>
SPECIFICATION NO. 2034	
SCALE 1/8" = 1'-0"	



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OVERALL LOWER LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"

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NO.	REVISION - AS BUILT	DATE

REVIEWED: \_\_\_\_\_ DATE \_\_\_\_\_  
 PARK ENGINEER

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**rolluda architects**  
 architecture planning interior design

**100% Submission**

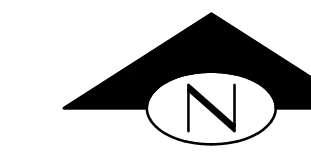


**Seattle Parks & Recreation**

HING HAY PARK

**COMFORT STATION RENOVATION LOWER LEVEL FLOOR PLAN**

DESIGNED SN	DATE 04/10/2020
DRAWN SN/AS	SHEET 6 OF 22
CHECKED AR	
ORDINANCE NO. 124927	<b>A-102</b>
SPECIFICATION NO. 2034	
SCALE 1/8" = 1'-0"	



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 architecture planning interior design

**100% Submission**



HING HAY PARK

**COMFORT STATION RENOVATION**

**ENLARGED FLOOR PLAN**

DESIGNED SN	DATE 04/10/2020
DRAWN SN/AS	SHEET 7 OF 22
CHECKED AR	
ORDINANCE NO. 124927	<b>A-103</b>
SPECIFICATION NO. 2034	
SCALE 1/4" = 1'-0"	

**ENLARGED RESTROOM PLAN**

SCALE: 1/2" = 1'-0" **2**

**ENLARGED PARTIAL FLOOR PLAN**

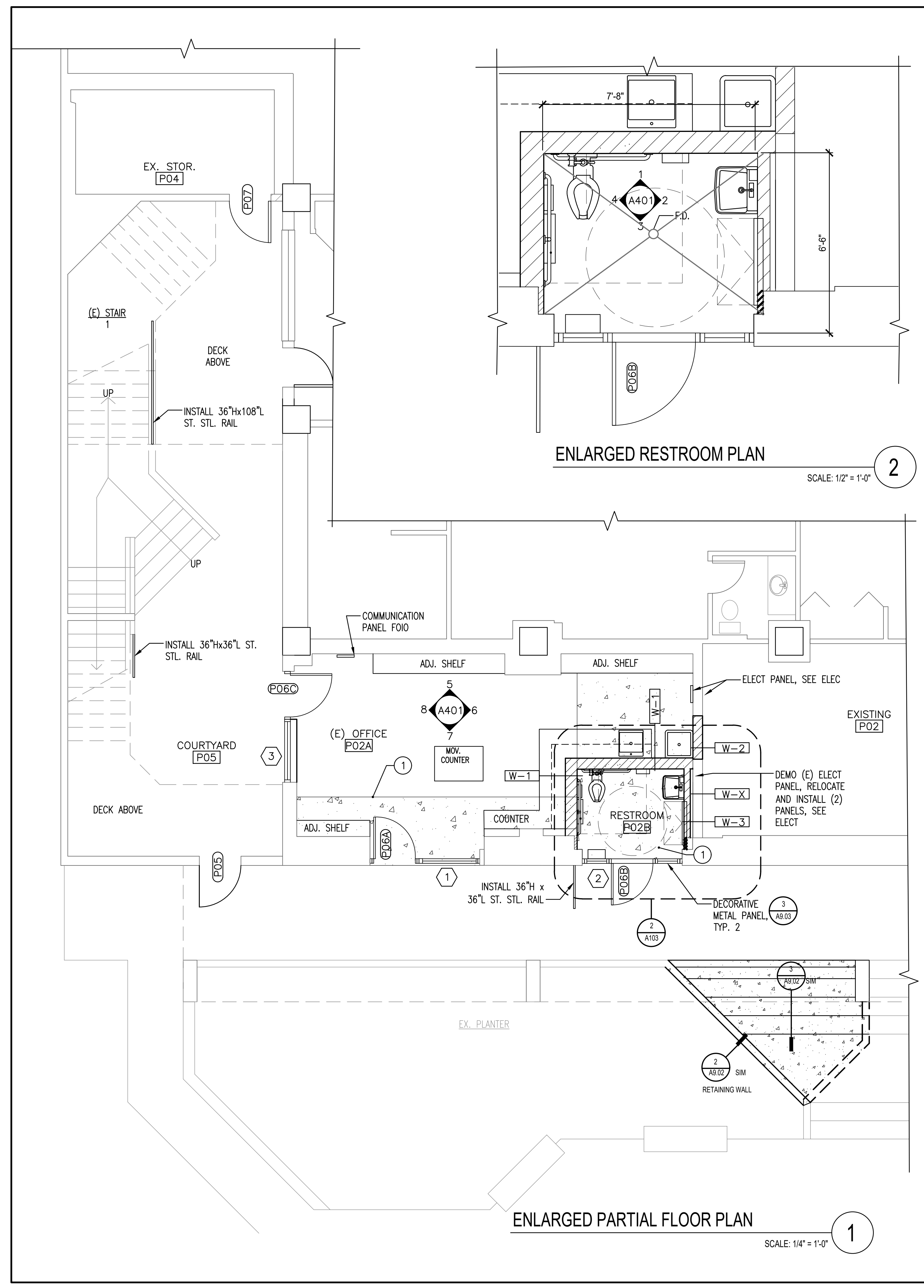
SCALE: 1/4" = 1'-0" **1**

**KEY NOTES**

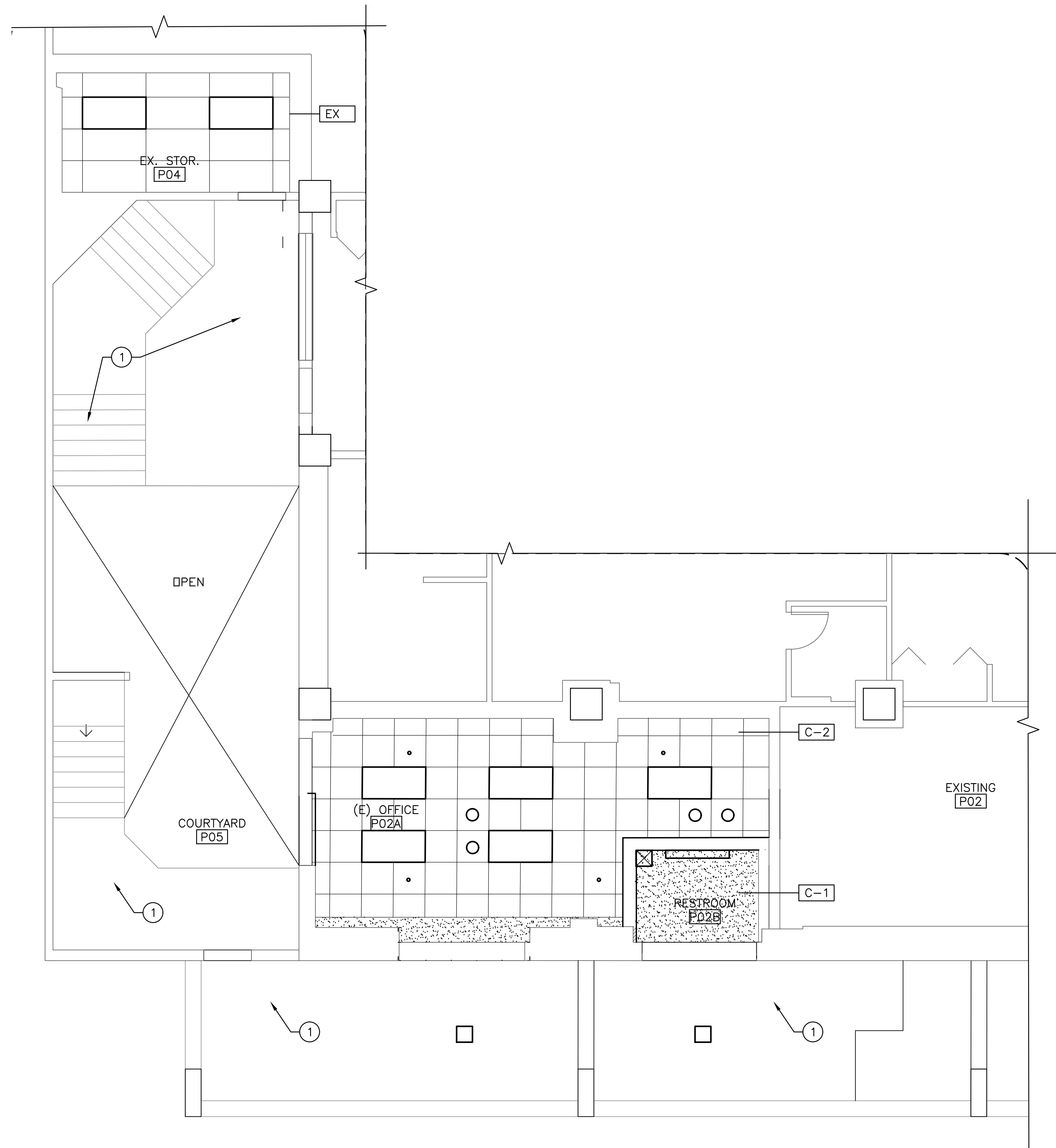
- ① PATCH & POUR INFILL CONCRETE FLOOR FLUSH TO EXISTING. COORDINATE W/ PLUMBING.

**WALL LEGEND:**

- EXISTING WALL
- ▨ NEW WALL





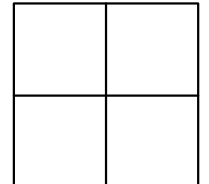
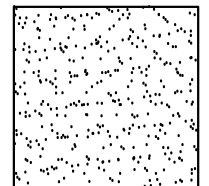
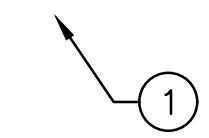
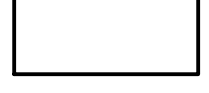
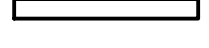
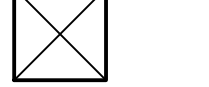


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**CEILING LEGEND**

-  SUSPENDED CEILING  
REPLACE TILES
-  PAINT CEILING
-  PAINT CEILING
-  (E) LIGHT FIXTURE
-  LIGHT FIXTURE
-  12"x12" FAN EXHAUST

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NO.	REVISION - AS BUILT	DATE

REVIEWED: \_\_\_\_\_ DATE \_\_\_\_\_  
 PARK ENGINEER

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**rolluda architects**  
 architecture planning interior design

**100% Submission**



**Seattle Parks & Recreation**

HING HAY PARK

**COMFORT STATION  
 RENOVATION  
 ENLARGED REFLECTED  
 CEILING PLAN**

DESIGNED SN	DATE 04/10/2020
DRAWN SN/AS	
CHECKED AR	SHEET 8 of 22

ORDINANCE NO. 124927 **A-104**  
 SPECIFICATION NO. 2034

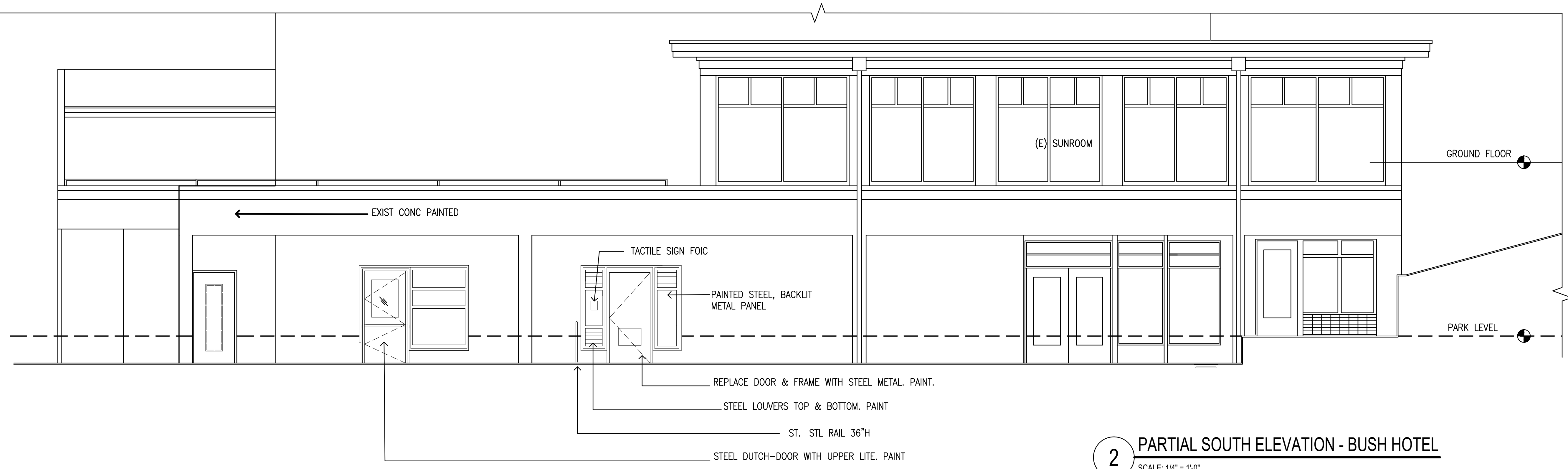
SCALE 1/4" = 1'-0"

**ENLARGED REFLECTED CEILING PLAN** 1  
 SCALE: 1/4" = 1'-0"



2  
A-201

1 SOUTH ELEVATION - BUSH HOTEL  
SCALE: 1/8" = 1'-0"



2 PARTIAL SOUTH ELEVATION - BUSH HOTEL  
SCALE: 1/4" = 1'-0"

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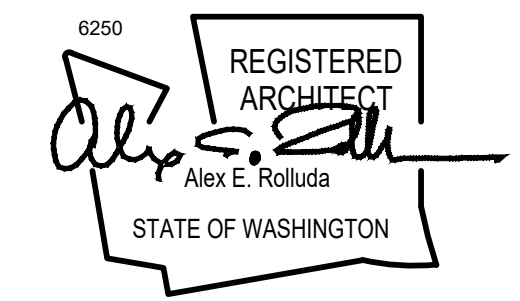
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NO.	REVISION - AS BUILT	DATE

REVIEWED: \_\_\_\_\_  
PARK ENGINEER DATE

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architecture planning interior design

100% Submission



**Seattle**  
Parks & Recreation

HING HAY PARK

**COMFORT STATION  
RENOVATION  
EXTERIOR ELEVATIONS -  
PROPOSED**

DESIGNED SN	DATE 04/10/2020
DRAWN SN/AS	
CHECKED AR	SHEET 9 OF 22
ORDINANCE NO. 124927	<b>A-201</b>
SPECIFICATION NO. 2034	
SCALE AS NOTED	

FINISH SCHEDULE												
NO	ROOM	FLOOR		BASE		WALL		CEILING		WAINSCOT		NOTE
		MAT	FIN	MAT	FIN	MAT	FIN	MAT	FIN	MAT	FIN	
P02A	OFFICE	CONC	LVT	RB	FF	GWB	P-1	ACT-1	FF			REPLACE ACT IN (E) GRID
P02B	STORAGE	CONC	VCT	RB	FF	GWB	P-1	ACT-2	FF	PLY	PT	REPLACE ACT IN (E) GRID, 2X4 CHAIR RAIL
P04	RESTROOM	CONC	EPOXY	EPOXY	FF	CB	CT	CB	P-1			WALLS, CEILING TO BE 1-HR RATED

DOOR SCHEDULE												
NO	TYP	DOOR					FRAME			NOTE		
		MAT	FIRE	H	W	FIN	TYP	MAT	FIN			
P06A	A	HM		7'-0"	3'-0"	PT	1	HM	PT	INSUL, CLOSER, KEYED LOCK, LATCH, KICKPLATES		
P06B	C	HM	60 MIN	7'-0"	3'-0"	PT	2	HM	PT	INSUL, CLOSER, KEYED LOCK, LATCH, KICKPLATES		
P06C	B	HM		7'-0"	3'-0"	PT	3	HM	PT	CLOSER, KEYED PRIVACY LOCK, LATCH, KICKPLATES		
P07	C	HM		7'-0"	3'-0"	PT	4	HM	PT	CLOSER, KEYED LOCK, LATCH,		

- DOOR ASSEMBLY AND HARDWARE NOTES:**
- DOOR ASSEMBLY TO BE FACTORY-FINISH WITH HIGH PERFORMANCE COATING AND/OR PAINTED AS DIRECTED BY ARCHITECT.
  - DOOR HARDWARE NOTES:
    - ADJUST DOOR CLOSERS TO CLOSE FROM AN OPEN POSITION OF 90 DEGREES TO 12 DEGREES TO LATCH IN NOT LESS THAN 5 SECONDS. DOOR CLOSURES SHALL BE ADJUSTABLE HYDRAULIC.
    - HARDWARE, SUCH AS HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS, CABINETS AND FIXTURES SHALL HAVE A LEVER OR OTHER SHAPE THAT PERMITS OPERATION BY WRIST OR ARM PRESSURE AND DOES NOT REQUIRE TIGHT GRASP, PINCH OR TWIST TO OPERATE.
    - PANIC HARDWARE SHALL BE MOUNTED AT A HEIGHT OF 30" MIN TO 44" MAX AND UNLATCH AT A FORCE OF 15 POUNDS MAX WHEN APPLIED IN THE DIRECTION OF TRAVEL.
    - EXIT DOORS SHALL BE PIVOTED, BALANCED OR SIDE-HINGED SWINGING TYPE AND SHALL SWING TO A FULLY OPEN POSITION WITH A FORCE NOT TO EXCEED 10 POUNDS FOR EXTERIOR SWING DOORS AND 5 POUNDS FOR INTERIOR SWING DOORS.
    - THRESHOLD SHALL NOT EXCEED 1/2" HEIGHT FROM DOORWAY LANDINGS AND SHALL INTEGRATE A 45 DEGREE SLOPED TRANSITION FOR THE TOP 1/4" SECTION OF TRANSITION.
    - EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. THE UNLATCHING SHALL NOT REQUIRE MORE THAN ONE OPERATION.
    - OPAQUE DOOR U-FACTOR SHALL BE 0.60 PER NFRC TEST. INSULATED METAL & SOLID CORE WOOD DOORS ARE CONSIDERED COMPLIANT PER CH. 10 OF SEC.
    - INSULATED DOOR ASSEMBLIES INCLUDE INSULATED DOOR PANEL(S), CONTINUOUS GASKET SEALS AND SWEEPERS, INSULATED OR GROUTED HM FRAME.
    - DOOR HARDWARE ASSEMBLY TO INCLUDE DOOR STOPS.
    - ELECTRIC STRIKE LOCKSET W/ CLOSER, ILO OF STANDARD HARDWARE. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

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REVIEWED: \_\_\_\_\_ DATE \_\_\_\_\_  
PARK ENGINEER

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**100% Submission**



HING HAY PARK

**COMFORT STATION  
RENOVATION**

**SCHEDULES**

DESIGNED SN	DATE 04/10/2020
DRAWN SN/AS	
CHECKED AR	SHEET 10 of 22

ORDINANCE NO. 124927 **A-301**

SPECIFICATION NO. 2034

SCALE \_\_\_\_\_

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**BEFORE YOU DIG!**  
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**rolluda architects**  
 architecture planning interior design

**100% Submission**  
 6250 REGISTERED ARCHITECT  
 Alex E. Rolluda  
 STATE OF WASHINGTON

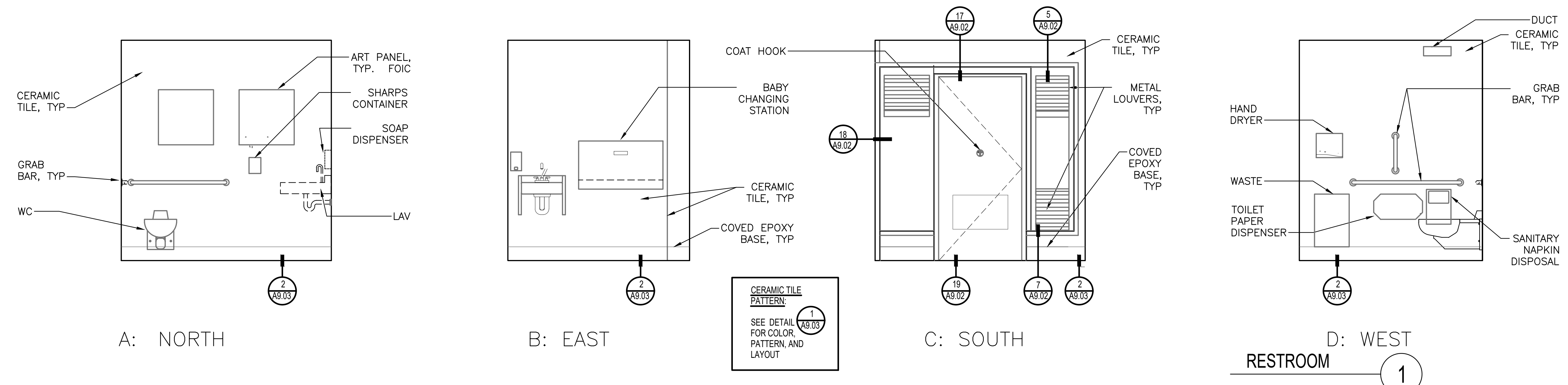
**Seattle Parks & Recreation**

**HING HAY PARK**

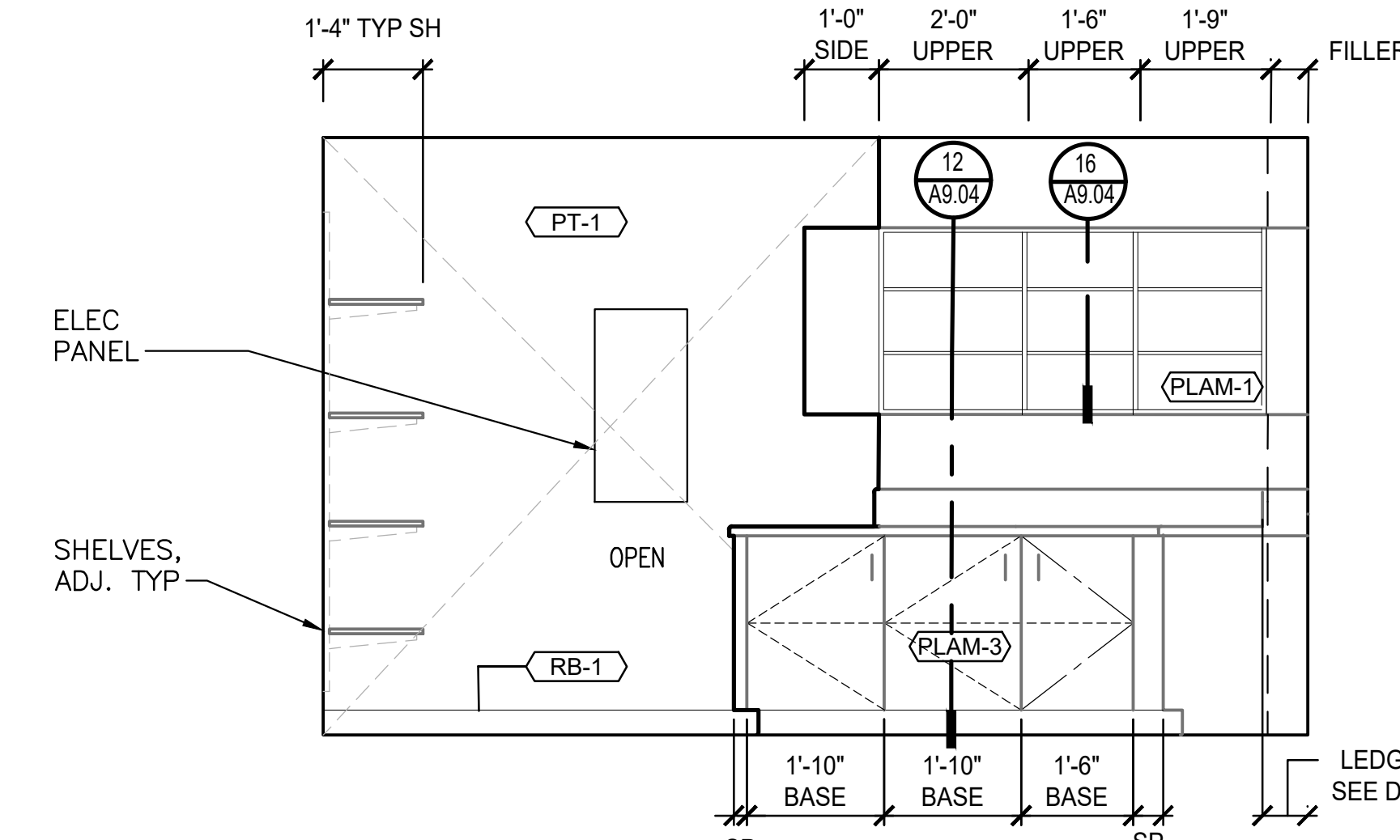
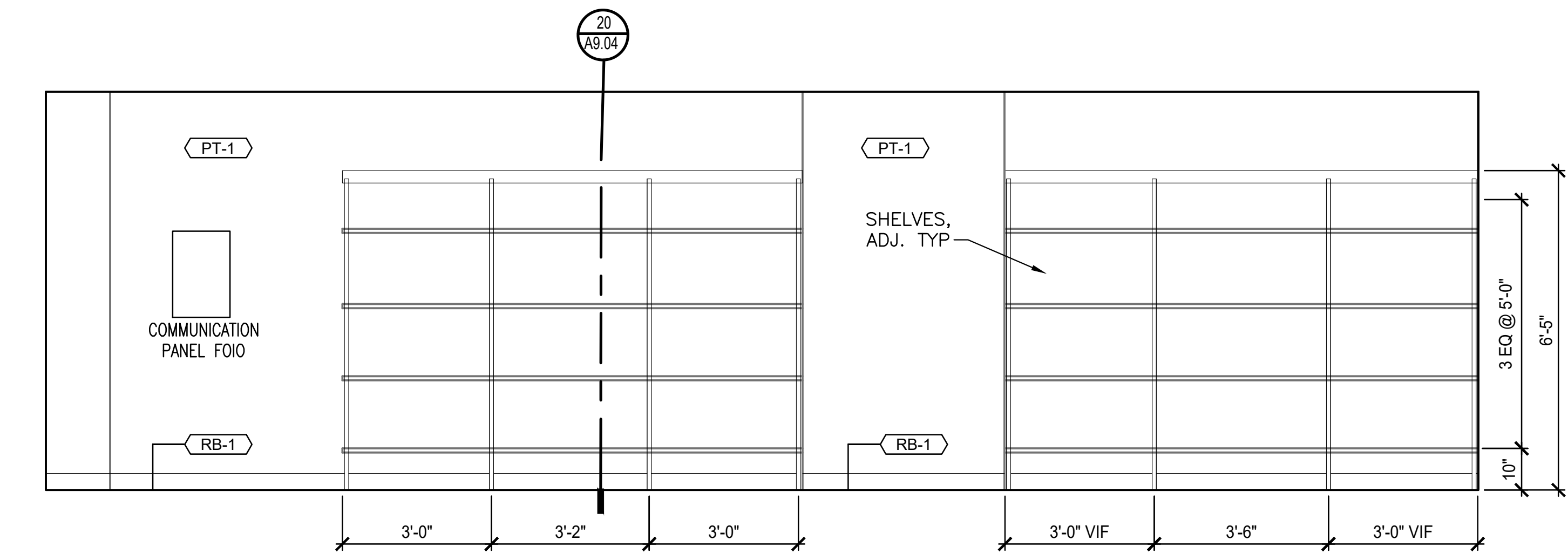
**COMFORT STATION RENOVATION**

**INTERIOR ELEVATIONS**

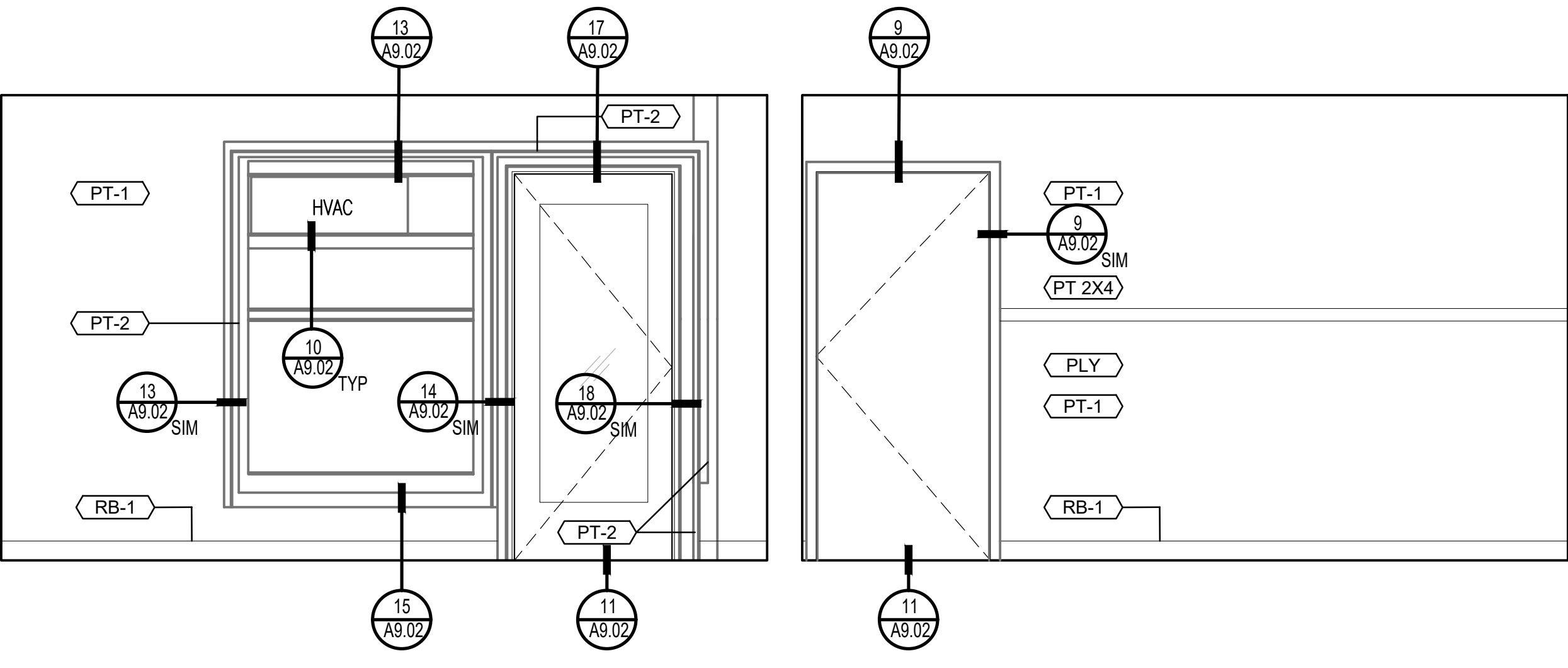
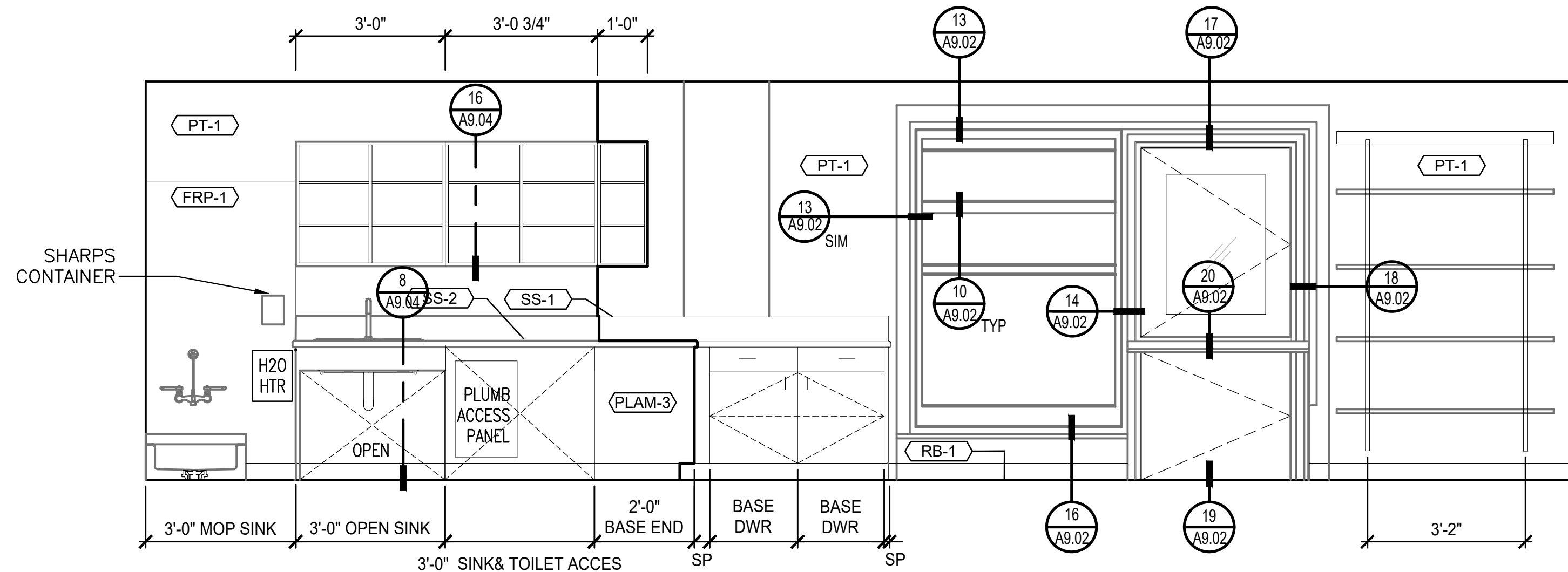
DESIGNED SN	DATE 04/10/2020
DRAWN SN/AS	SHEET 11 of 22
CHECKED AR	
ORDINANCE NO. 124927	<b>A- 401</b>
SPECIFICATION NO. 2034	
SCALE 1/2" = 1'-0"	



CERAMIC TILE PATTERN: 1 (A9.05)  
 SEE DETAIL FOR COLOR, PATTERN, AND LAYOUT



NOTE: ALL CASEWORK DOORS TO HAVE LOCKS

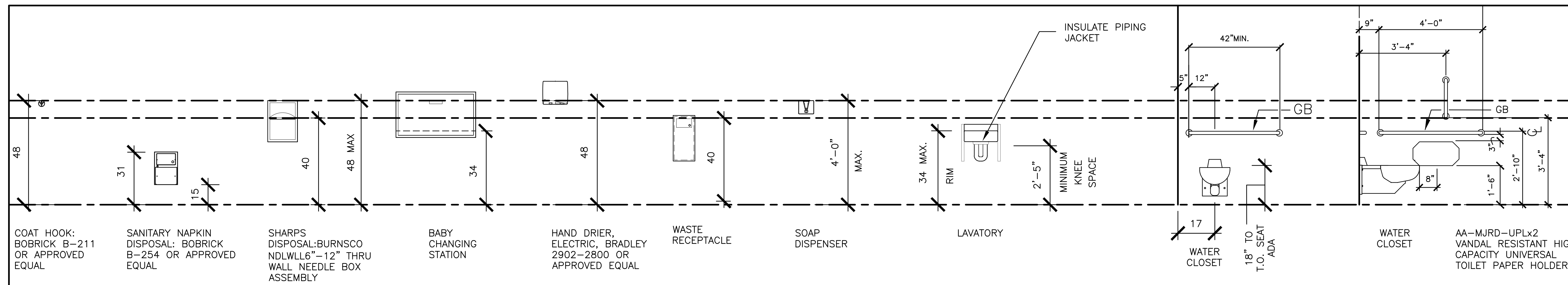


C: SOUTH

D: WEST

(E) OFFICE

2



COAT HOOK: BOBRICK B-211 OR APPROVED EQUAL  
 SANITARY NAPKIN DISPOSAL: BOBRICK B-254 OR APPROVED EQUAL  
 SHARPS DISPOSAL: BURNSCO NDLWLL6"-12" THRU WALL NEEDLE BOX ASSEMBLY  
 BABY CHANGING STATION  
 HAND DRIER, ELECTRIC, BRADLEY 2902-2800 OR APPROVED EQUAL  
 WASTE RECEPTACLE  
 SOAP DISPENSER  
 LAVATORY  
 WATER CLOSET  
 WATER CLOSET  
 AA-MJRD-UPLx2 VANDAL RESISTANT HIGH CAPACITY UNIVERSAL TOILET PAPER HOLDER

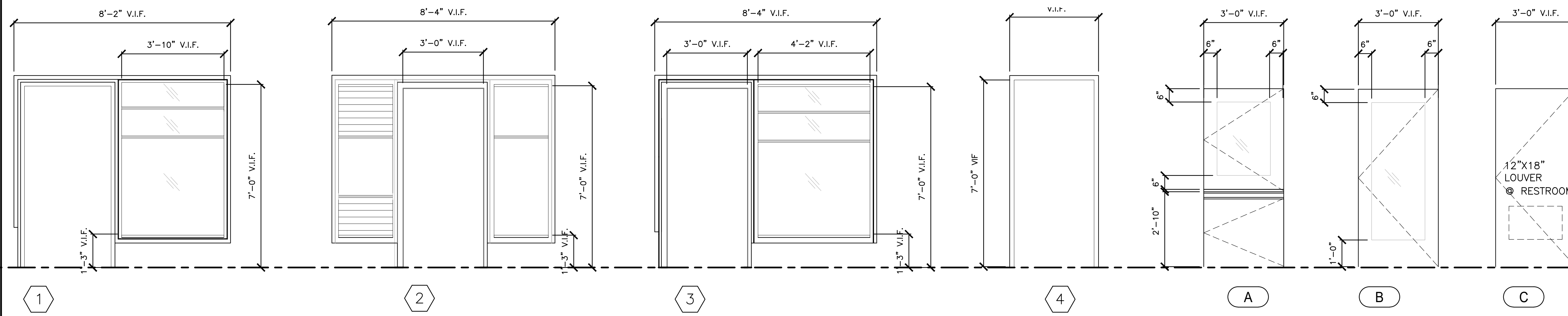
**TYPICAL MOUNTING HEIGHTS** 1  
 SCALE: 1/2" = 1'-0"

**DOOR NOTES**

1. ALL DOOR HARDWARE TO BE LEVER ACTIVATED. MOUNT NOT LESS THAN 34" AFF NOR MORE THAN 44" AFF.
2. PROVIDE DOOR CLOSER AS SCHEDULED
3. PANIC HARDWARE NOT REQUIRED
4. UNLATCHING FORCE AND OPENING OF INTERIOR DOORS SHALL NOT EXCEED 5#.
5. UNLATCHING FORCE AND OPENING OF EXTERIOR DOORS SHALL NOT EXCEED 10# WHEN APPLIED IN DIRECTION OF TRAVEL.
6. PROVIDE SAFETY GLASS AT ALL DOORS. INSULATED SAFETY GLASS AS SCHEDULED
7. DOOR CLOSING SPEED: MEET ADA 404.2.8 WHEN OPEN WILL TAKE 5 SECONDS TO MOVE FROM 90 DEGREES TO 12 DEGREES.
8. POWER ASSIST AT EXTERIOR DOORS AS NOTED
9. ALL DOORS MUST COMPLY WITH FORCE AND SPEED PER ADA CHAPTER 410.

**WINDOW NOTES**

1. PROVIDE SAFETY GLASS AS REQUIRED
2. INSULATED WINDOWS TO BE U=0.28 OR BETTER.
3. COORDINATE WITH SPECIFICATIONS
4. SEE PLAN & EXTERIOR ELEVATIONS FOR WINDOW TYPE



**DOOR & WINDOW FRAME TYPES** 4  
 SCALE: 1/2" = 1'-0"

**DOOR TYPES** 3  
 SCALE: 1/2" = 1'-0"

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**rolluda architects**  
 architecture planning interior design

**100% Submission**

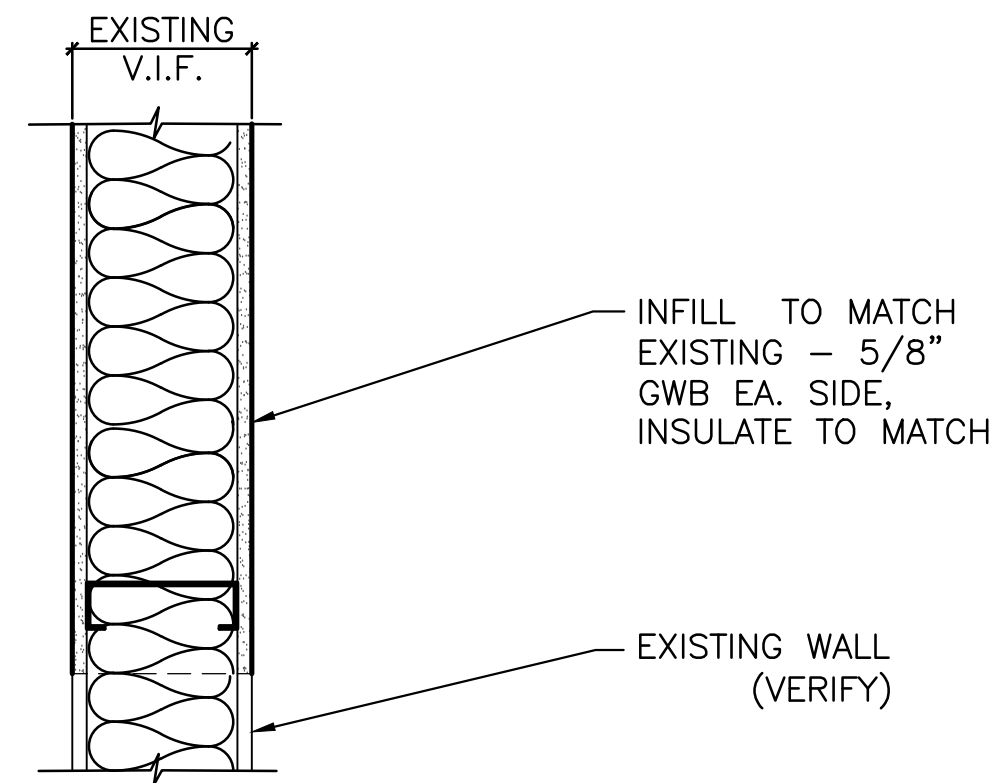


**Seattle Parks & Recreation**

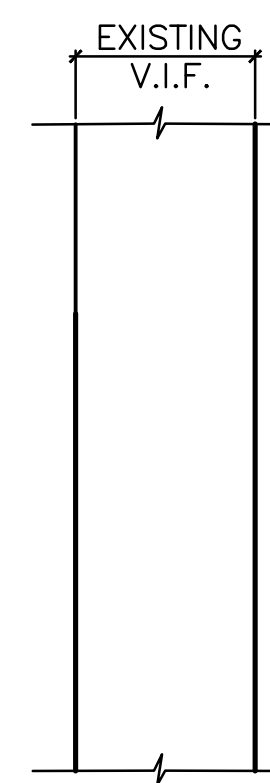
**HING HAY PARK**

**COMFORT STATION RENOVATION**  
**DOOR TYPES, MOUNTING HEIGHTS**

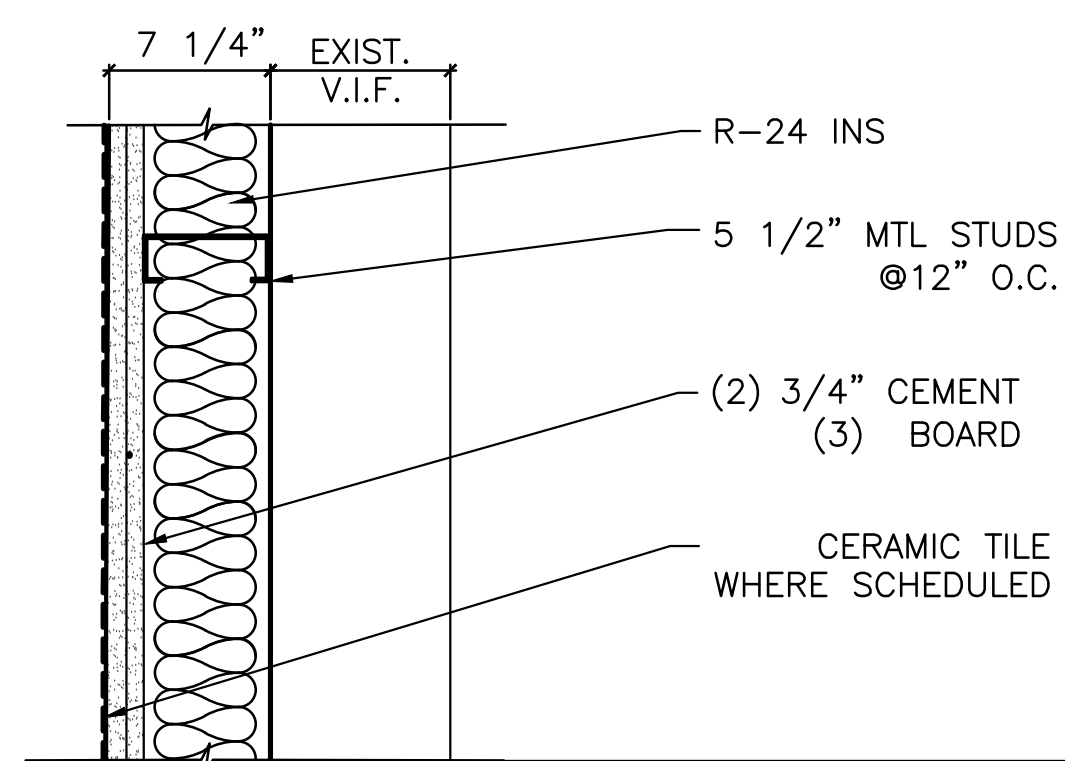
DESIGNED SN	DATE 04/10/2020
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CHECKED AR	
ORDINANCE NO. 124927	<b>A-601</b>
SPECIFICATION NO. 2034	
SCALE 1/2" = 1'-0"	



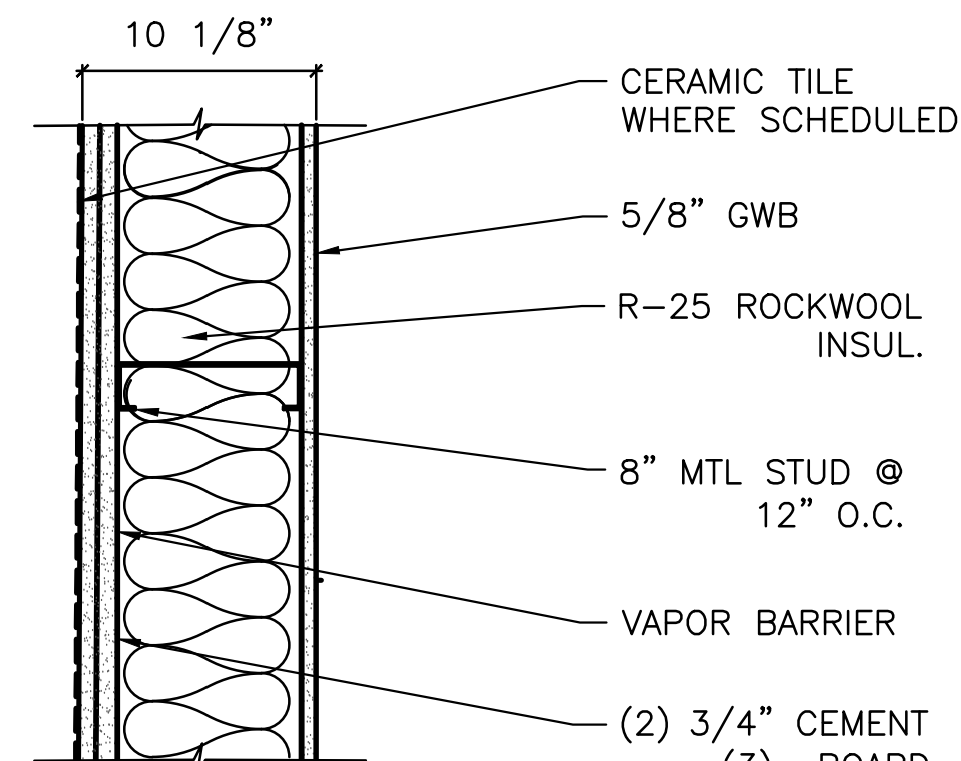
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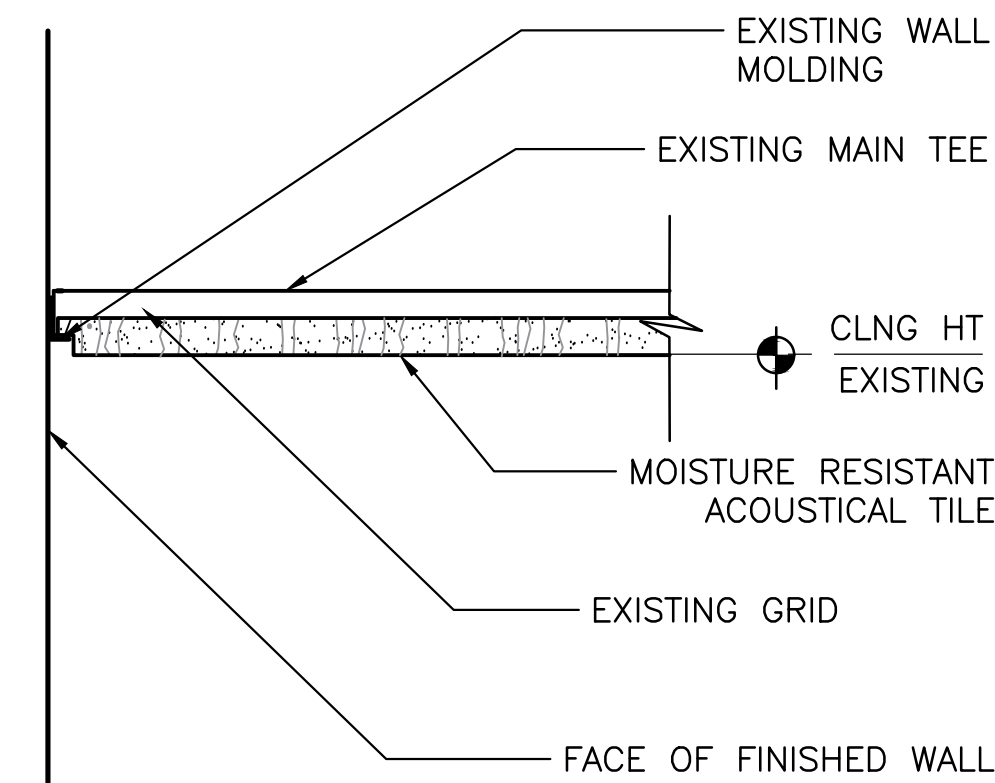
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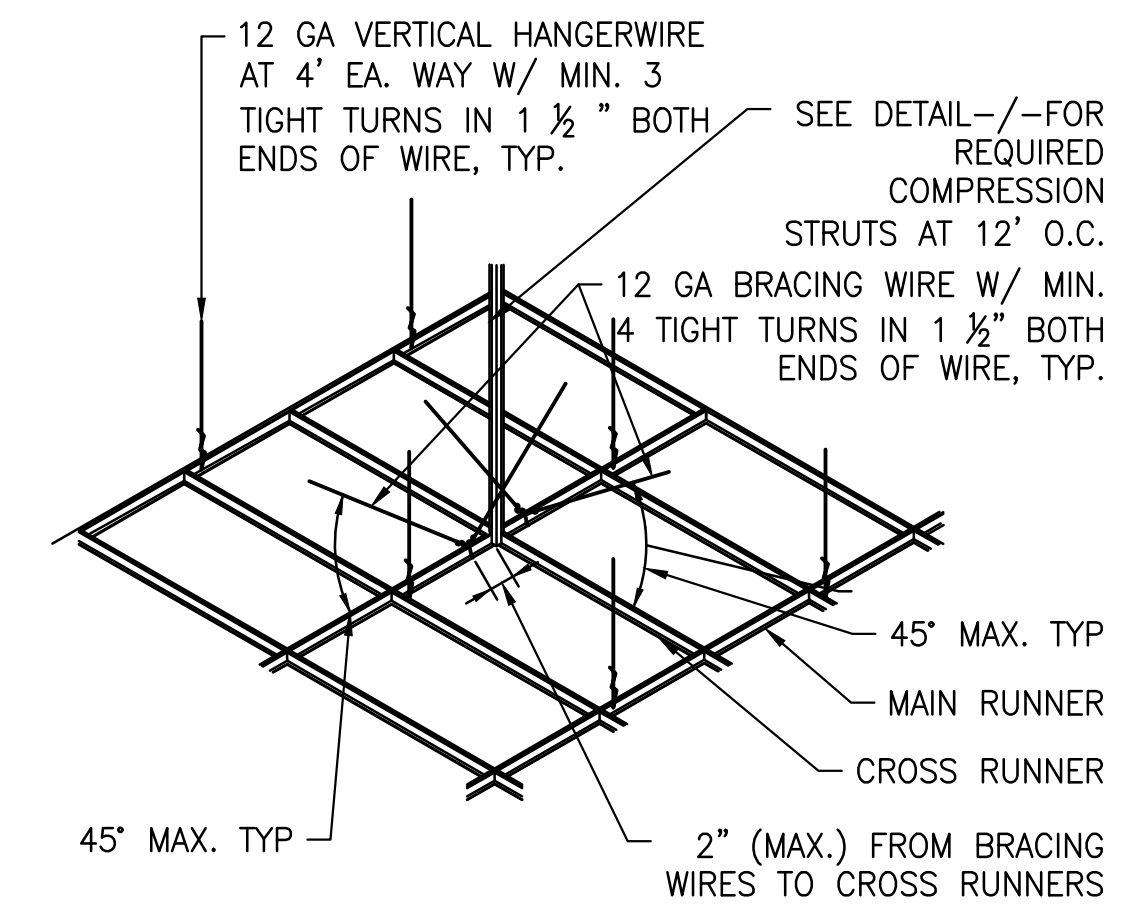
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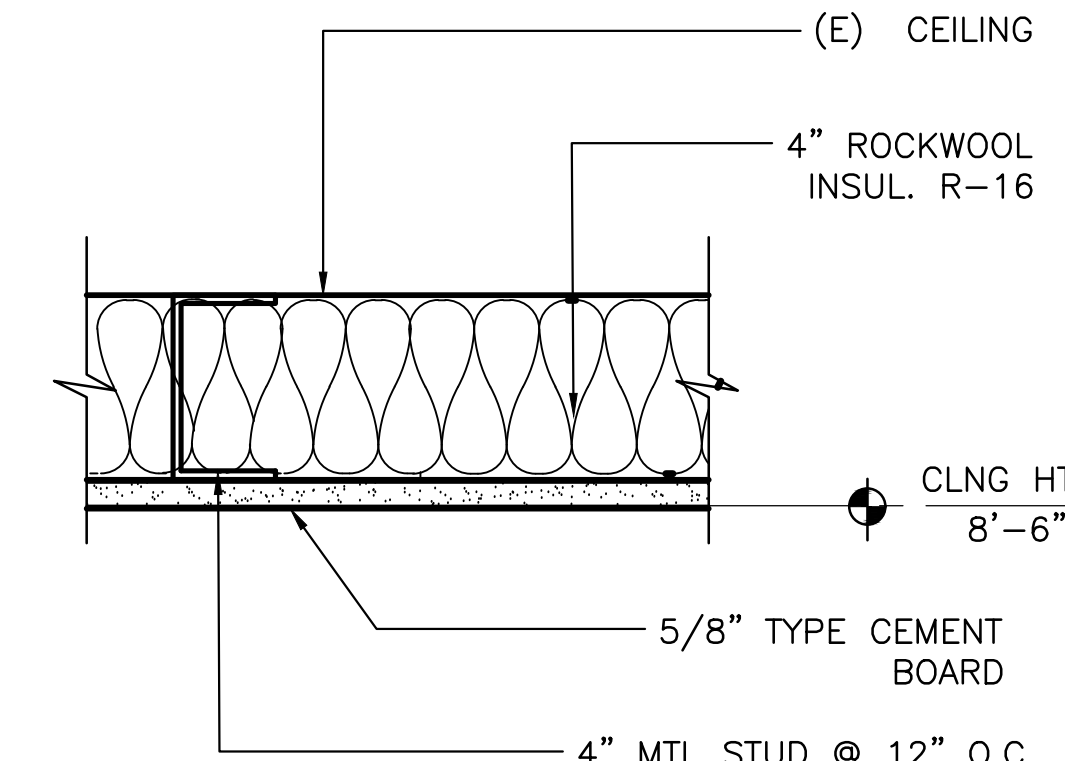
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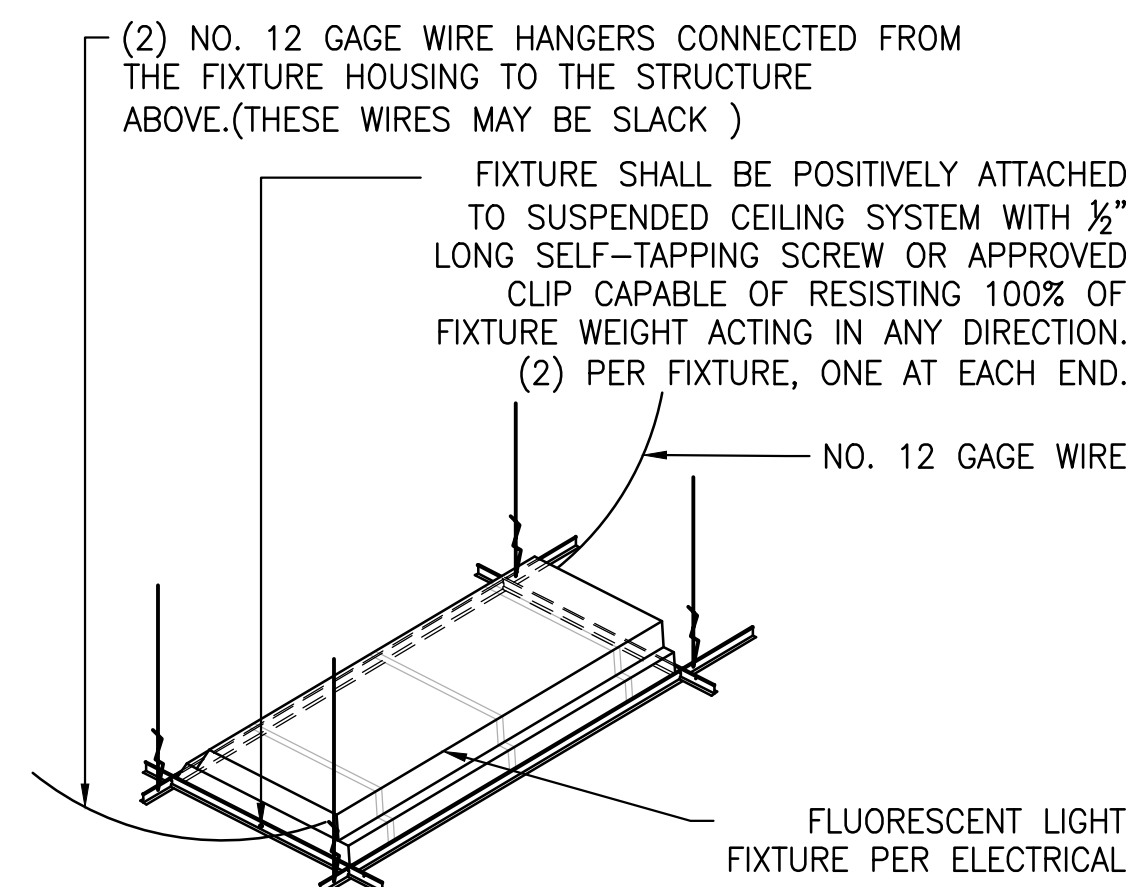
C-1



1 SUSP CEILING SUPP & BRACING



C-2



2 LIGHT FIXTURE / SUSP CLG

WALL TYPE SCHEDULE 3

SCALE: 1 1/2" = 1'- 0"

CEILING TYPE SCHEDULE 2

SCALE: 3" = 1'- 0"

CEILING DETAILS 1

SCALE: 3/4" = 1'- 0"

WALL ASSEMBLY NOTES

1. MAXIMUM VERTICAL STUD SPACING SHALL BE 16" ON CENTER.
2. PROVIDE SUFFICIENT BLOCKING IN WALLS FOR SUPPORT OF COUNTERS, CABINETS, TOILET ACCESSORIES, SHELVING, INTERIOR AND EXTERIOR FINISHES, ETC., AS REQUIRED.
3. INSTALL FIRE BLOCKING AND DRAFT STOPPING PER 2015 SBC, CHAPTER 7, SECTION 708.
4. AT FIRE RATED WALL OR CEILING ASSEMBLIES WHERE PENETRATIONS FOR MECHANICAL, ELECTRICAL OR PLUMBING OCCUR, PROVIDE APPROVED THRU-PENETRATION FIRE STOP ASSEMBLIES. MAINTAIN REQUIRED RATING OF ASSEMBLIES.
5. ALL PARTITIONS EXTEND TO THE UNDERSIDE OF STRUCTURE, UNO.
6. PROVIDE WATER RESISTANT GYPSUM WALL BOARD AT ALL WALLS IN WET LOCATIONS.
7. WHERE WALLS EXTEND TO UNDERSIDE OF IRREGULAR STRUCTURE, SUCH AS UNDERSIDE OF METAL DECK OR BETWEEN TRUSSES, GWB SHALL BE SCRIBED TO MATCH PROFILE.
8. PROVIDE IMPACT RESISTANT GWB ON ALL WALLS IN NON-WET LOCATIONS.

4 WALL PARTITION TYPES A-901

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rolluda architects  
architecture planning interior design

100% Submission



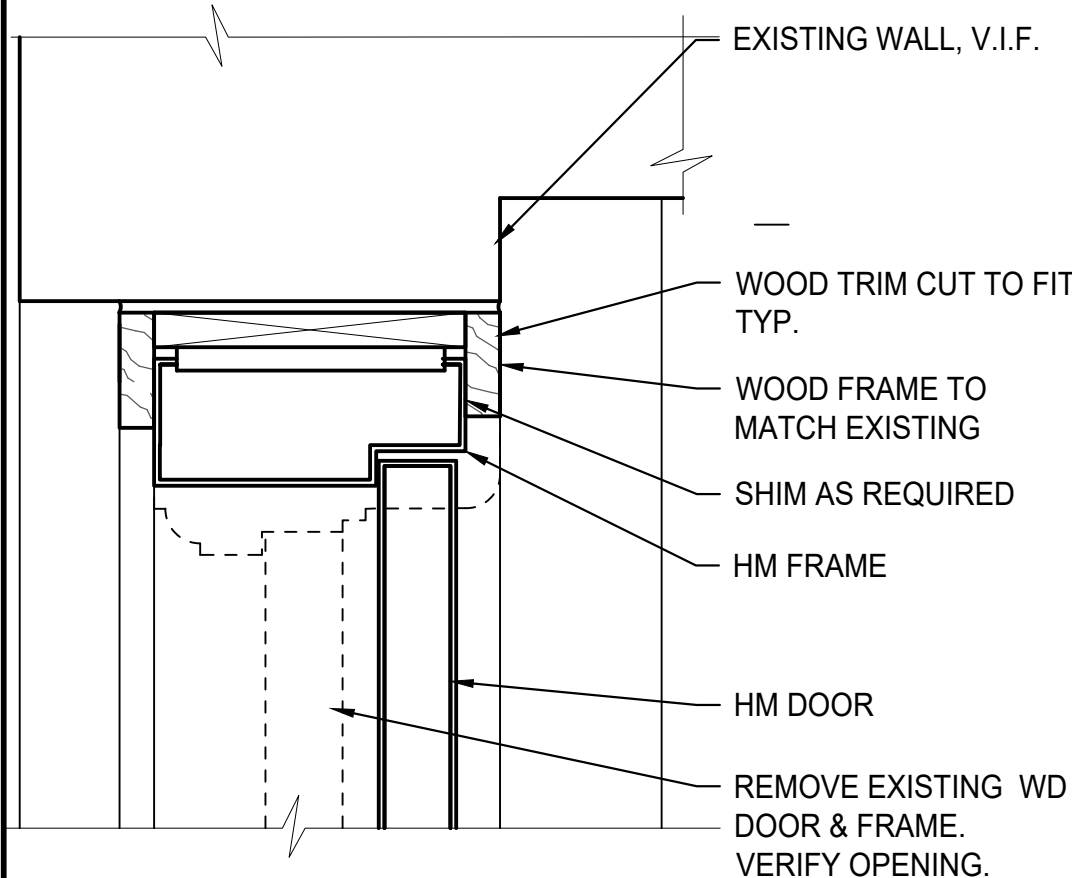
Seattle Parks & Recreation

HING HAY PARK

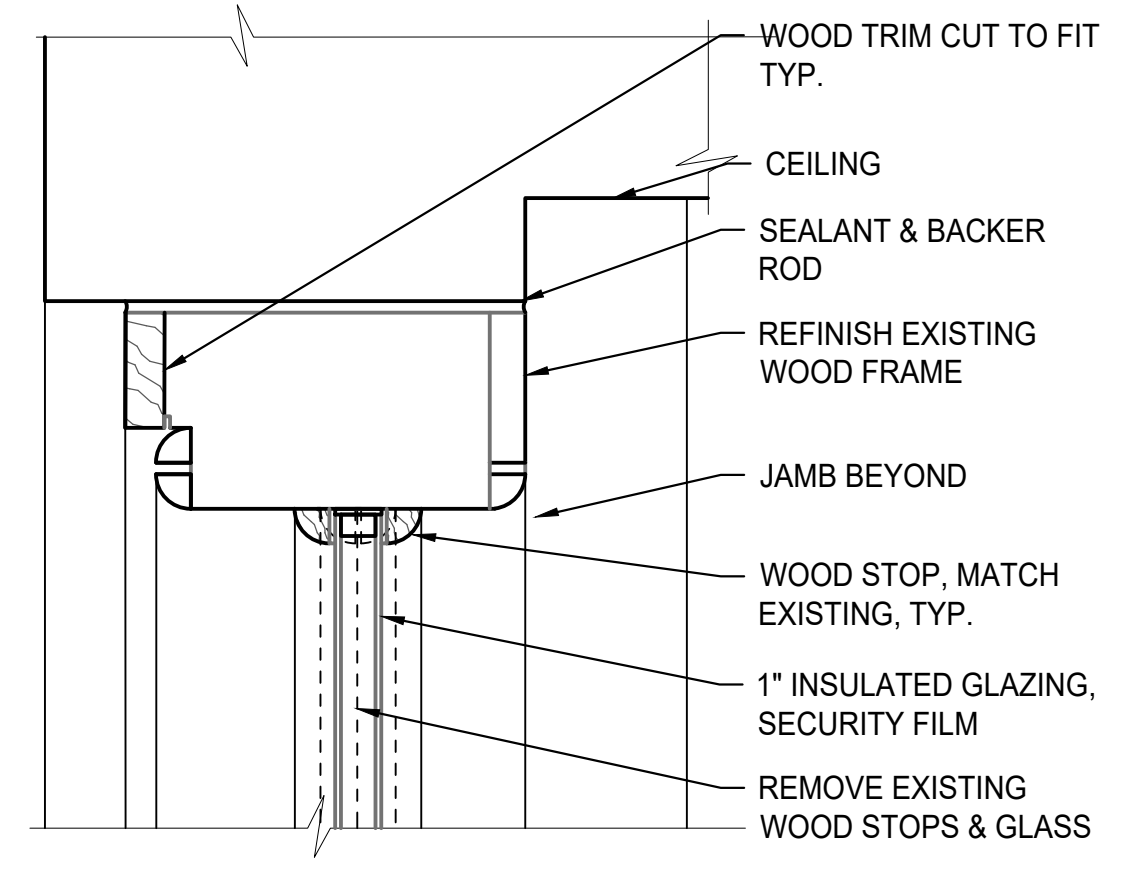
COMFORT STATION  
RENOVATION

DETAILS

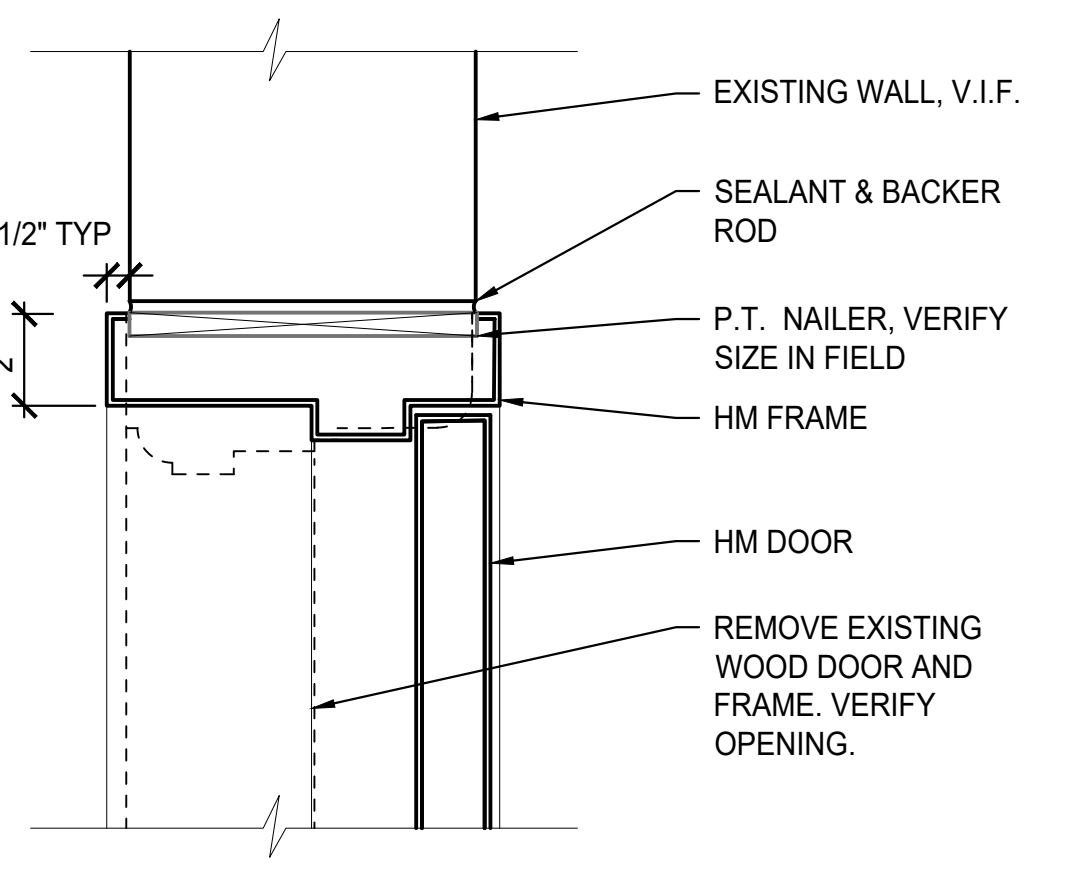
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SPECIFICATION NO. 2034	
SCALE VARIES	



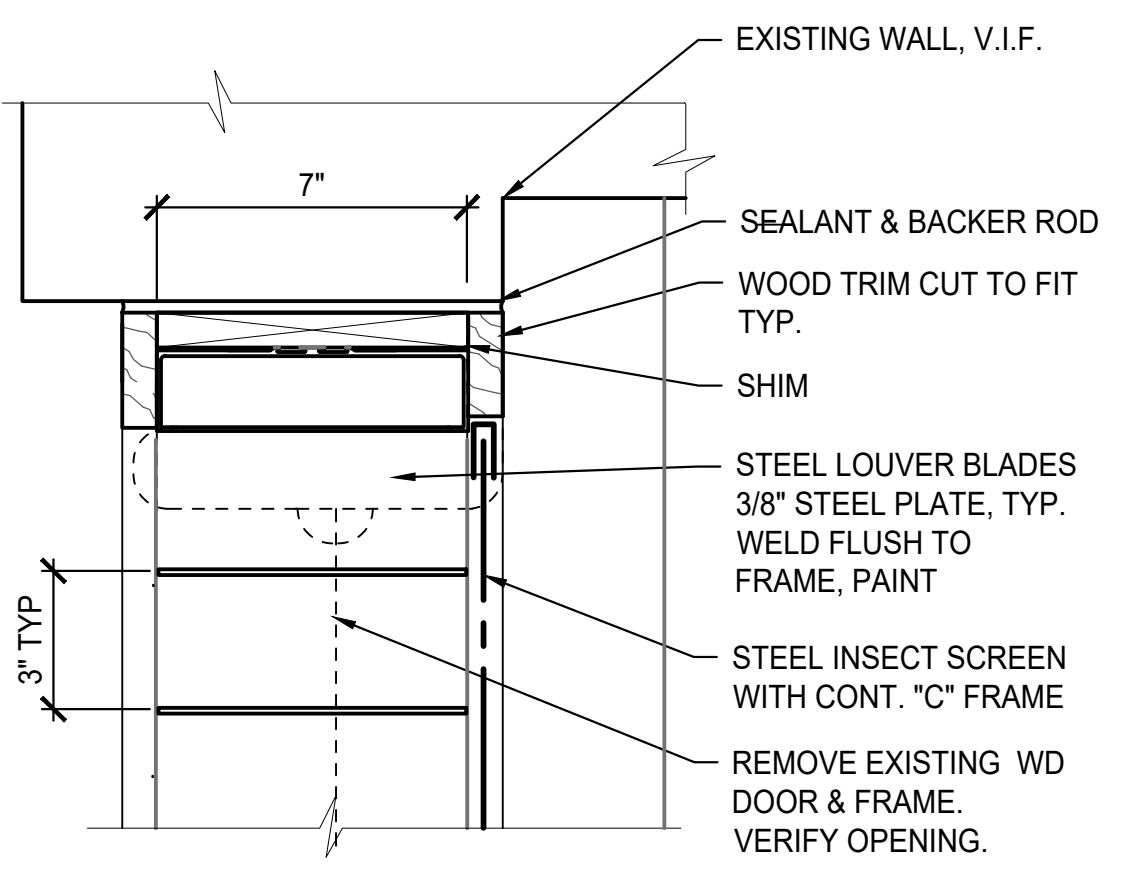
**17 DOOR HEAD**  
SCALE: 3" = 1'-0" OFFICE RESTROOM



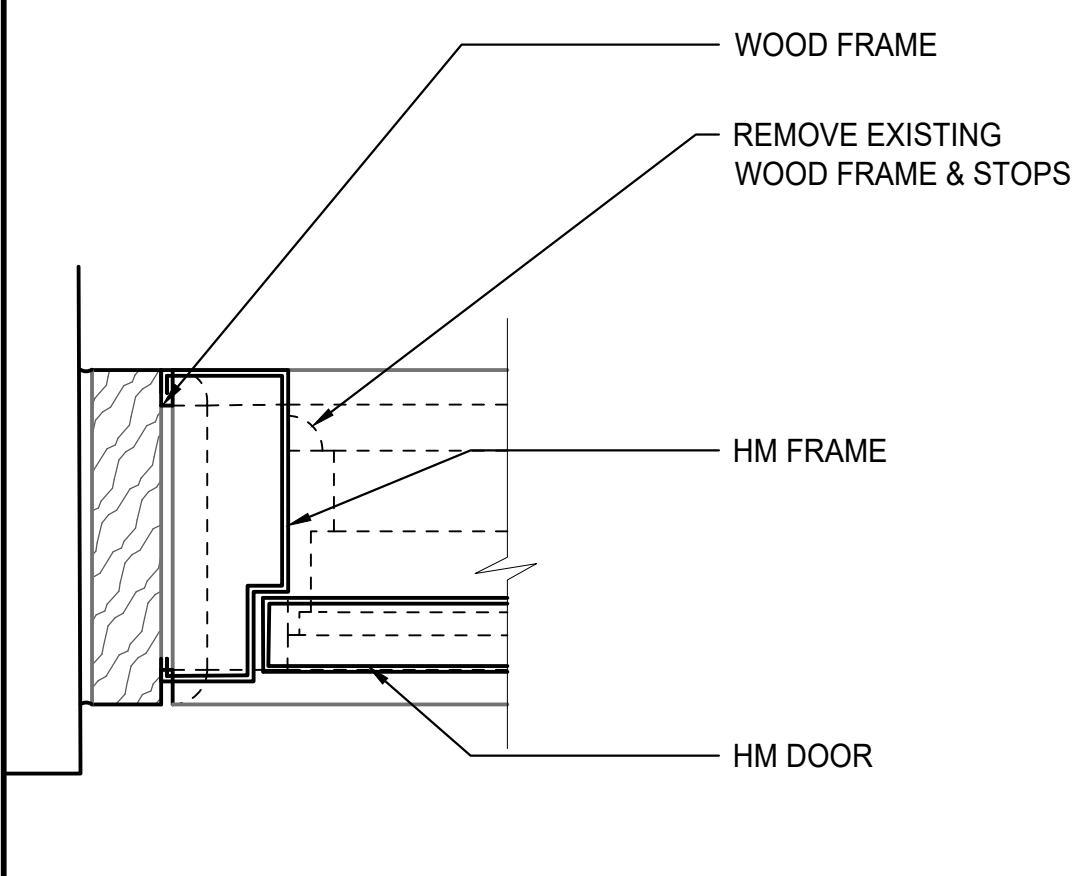
**13 WINDOW HEAD / JAMB SIM.**  
SCALE: 3" = 1'-0" OFFICE



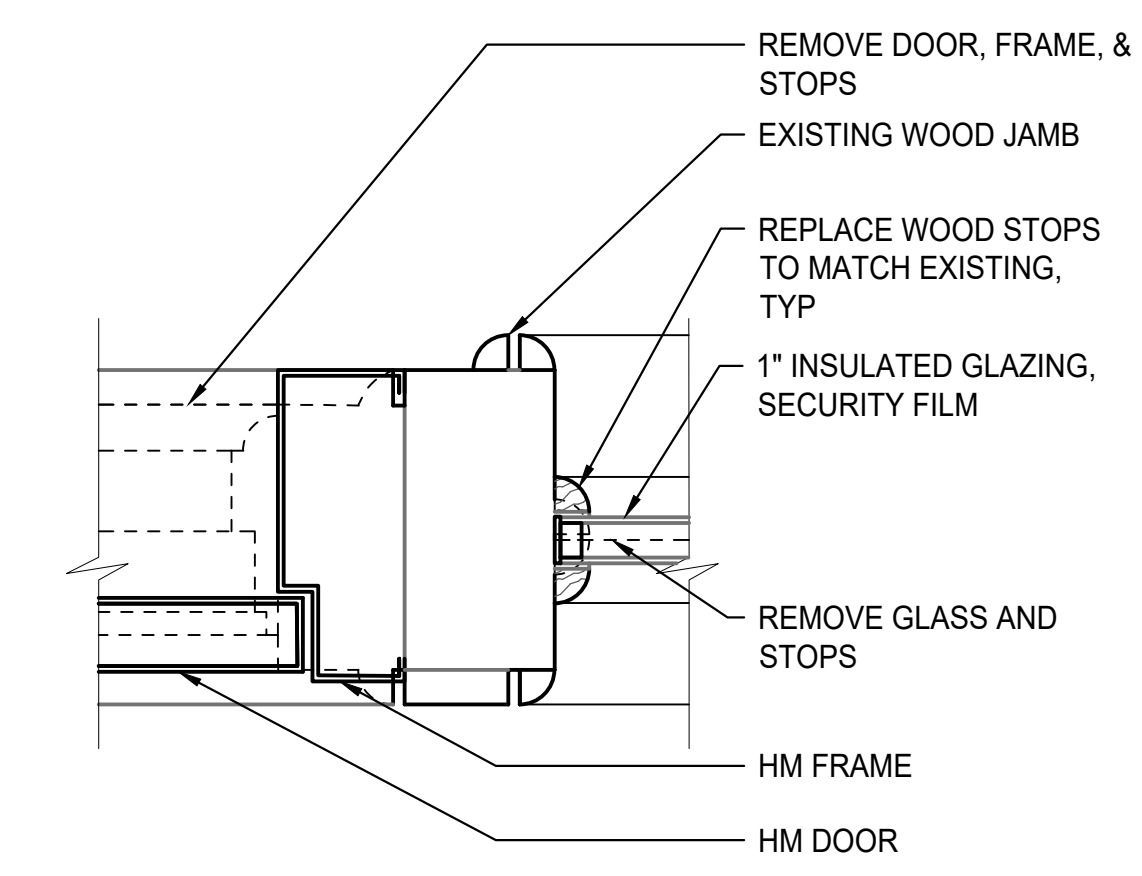
**9 DOOR HEAD / JAMB SIM.**  
SCALE: 3" = 1'-0" STORAGE



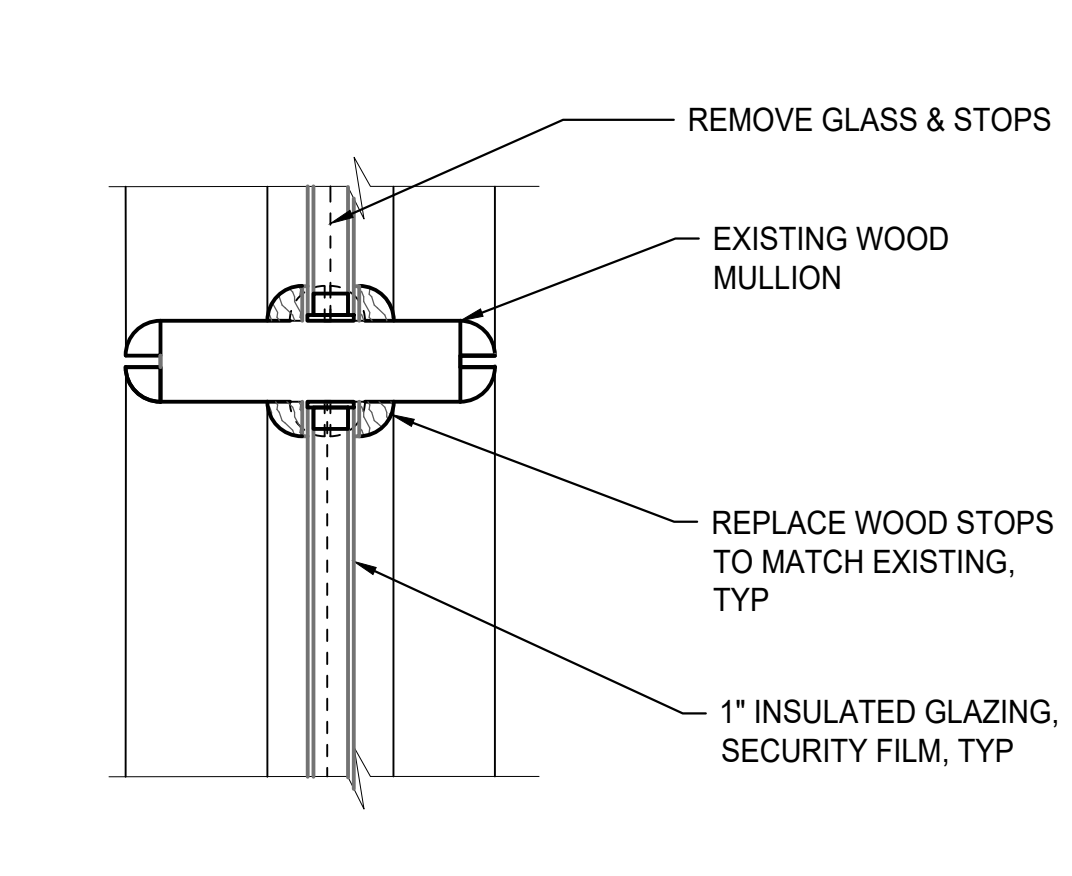
**5 UPPER LOUVER**  
SCALE: 3" = 1'-0" RESTROOM



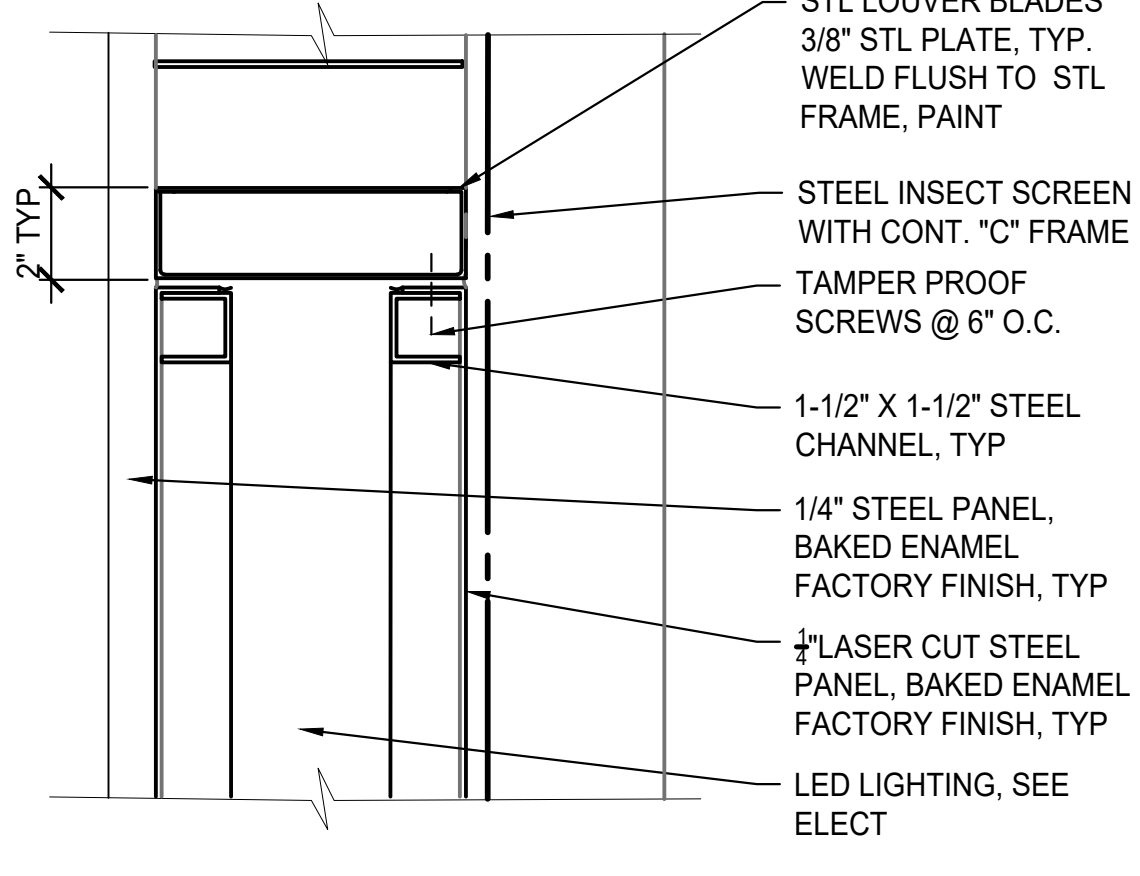
**18 DOOR JAMB**  
SCALE: 3" = 1'-0" RESTROOM, OFFICE



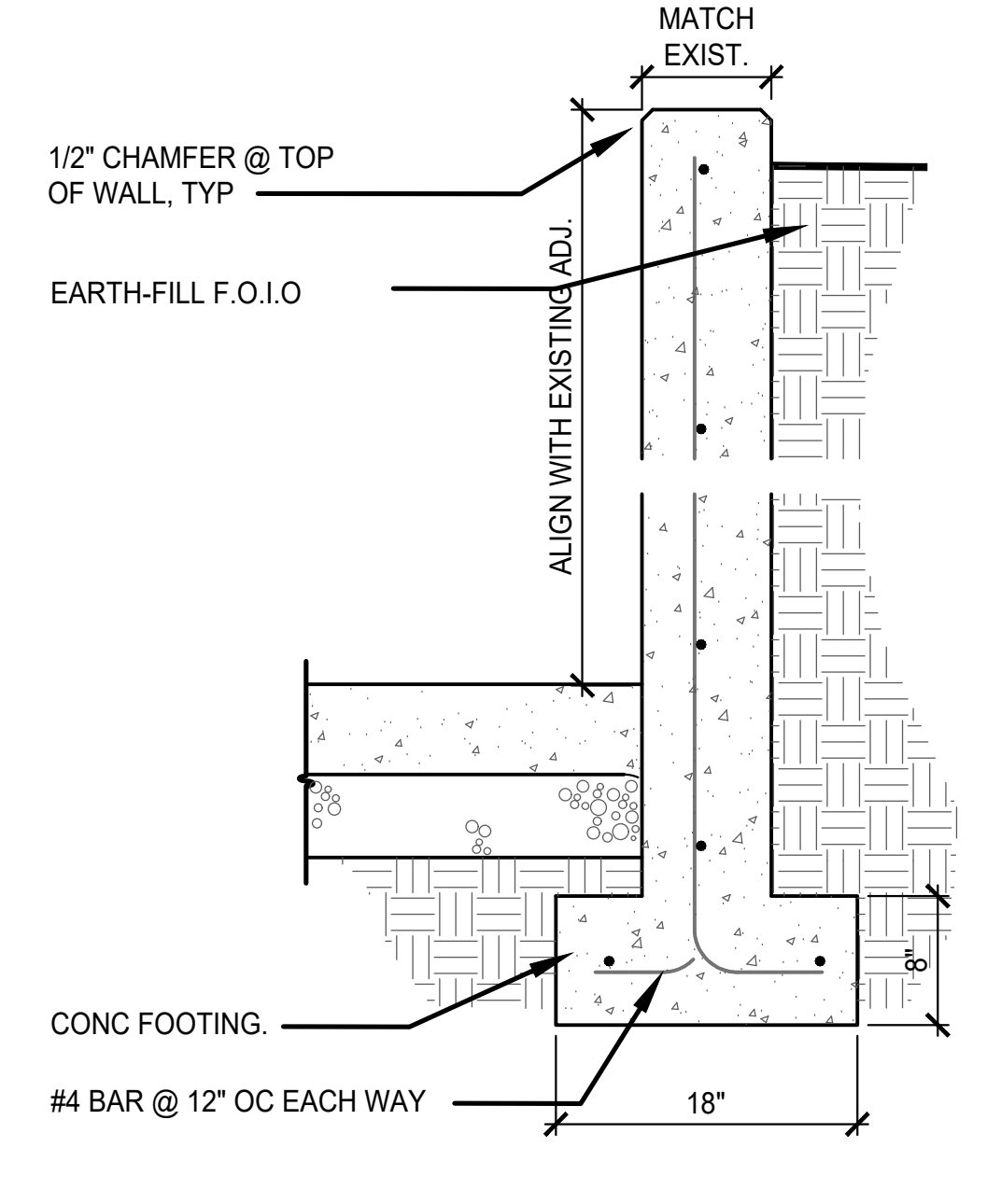
**14 DOOR WINDOW JAMB**  
SCALE: 3" = 1'-0" OFFICE



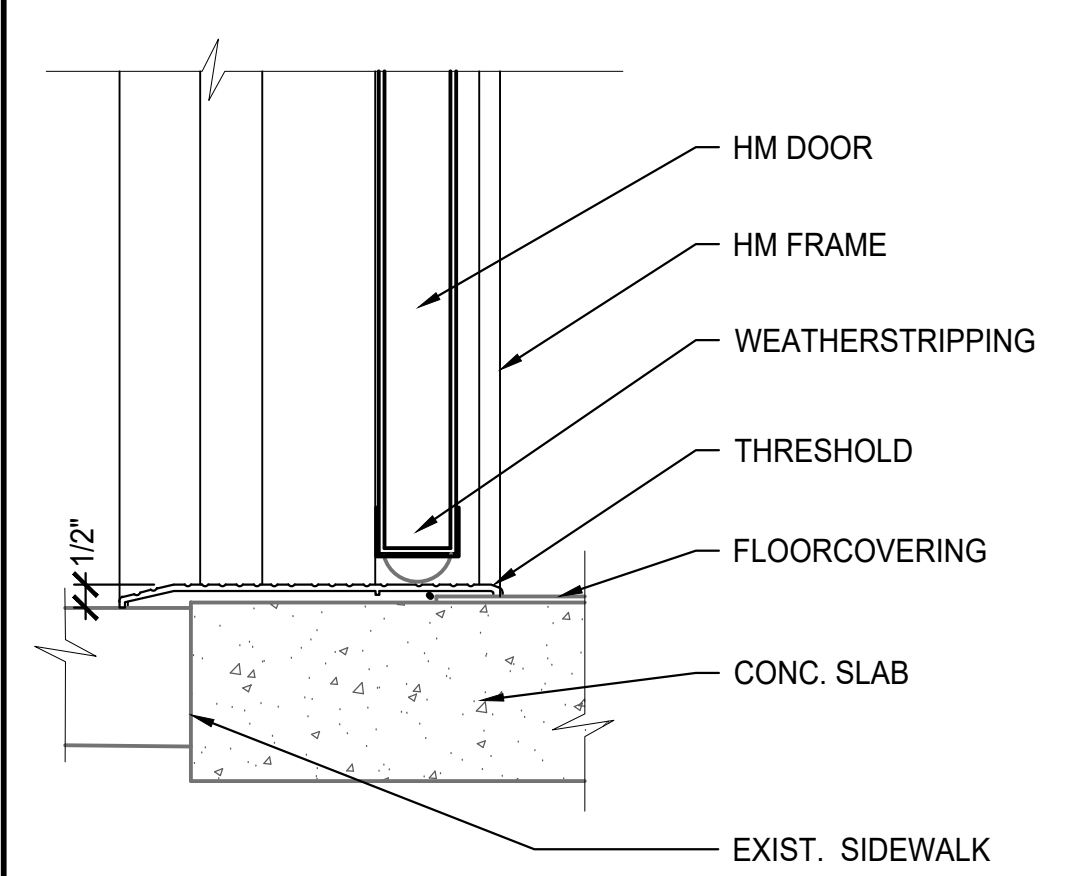
**10 WINDOW MULLION**  
SCALE: 3" = 1'-0" OFFICE



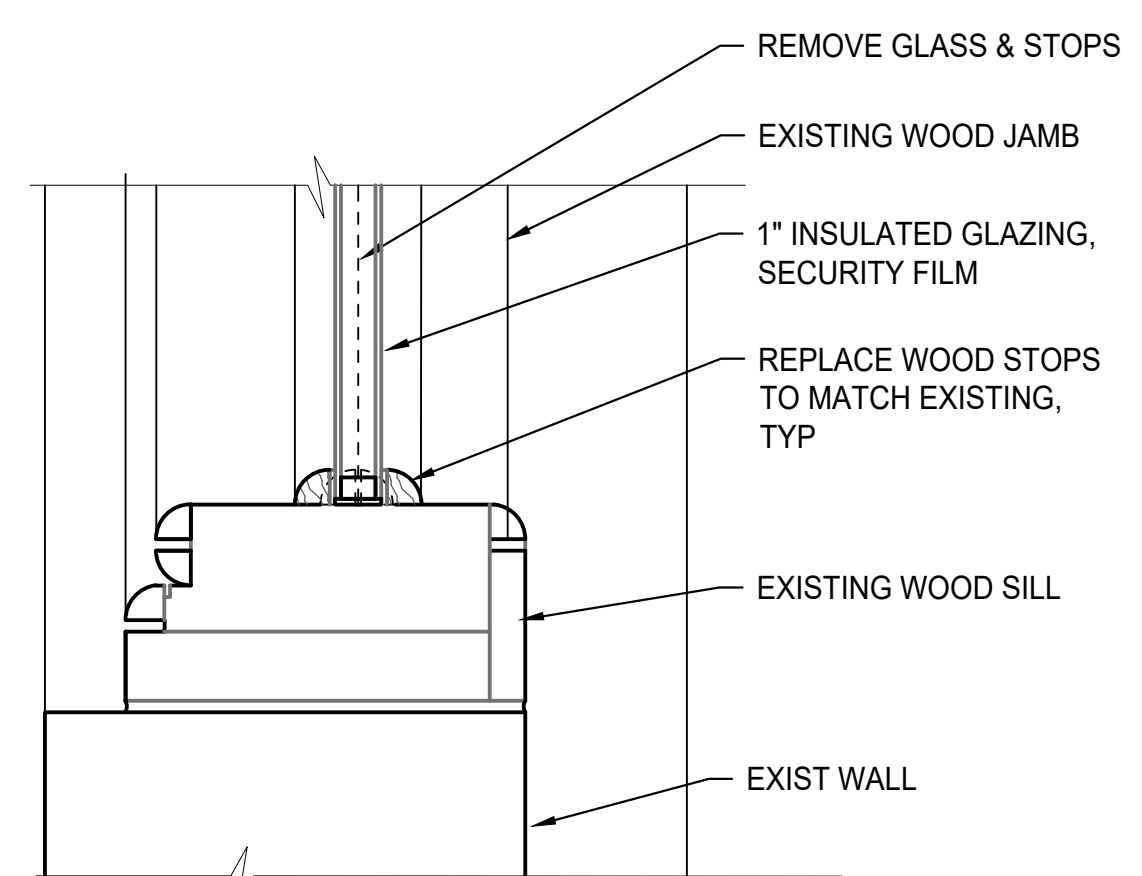
**6 DECORATIVE MTL PANEL**  
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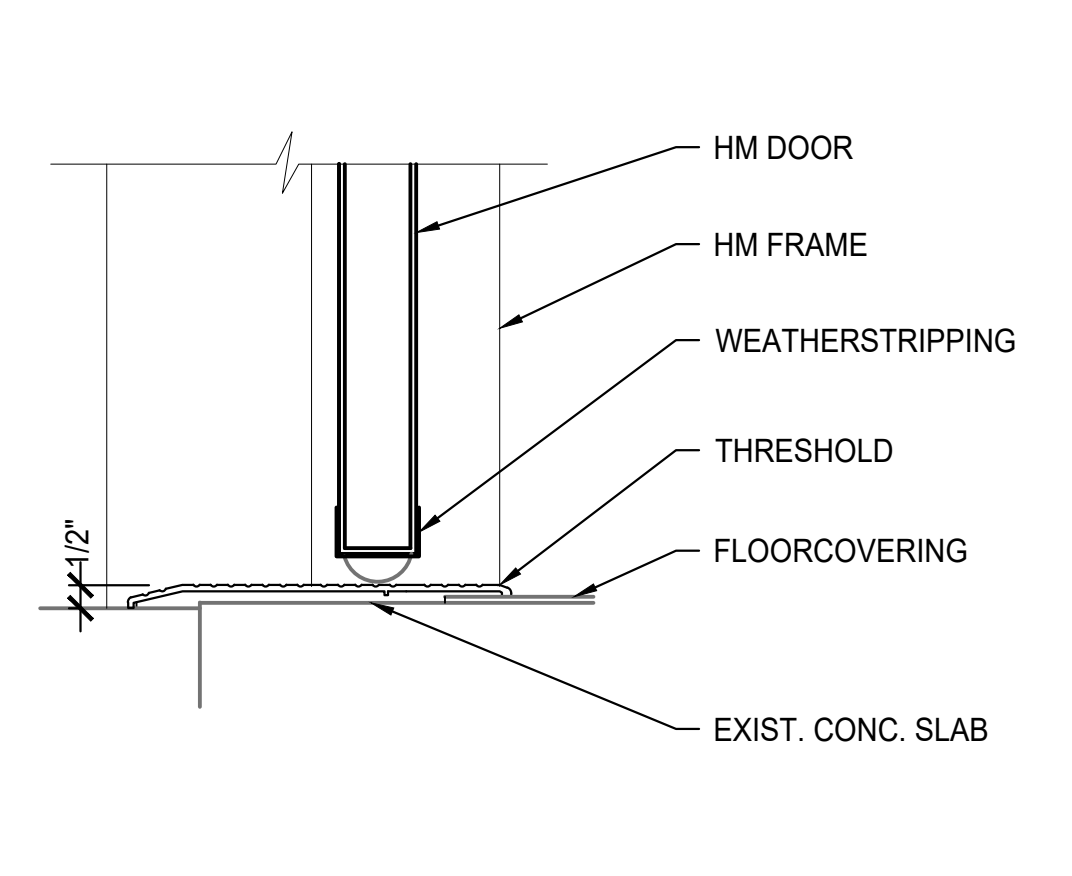
**2 PLANTER WALL**  
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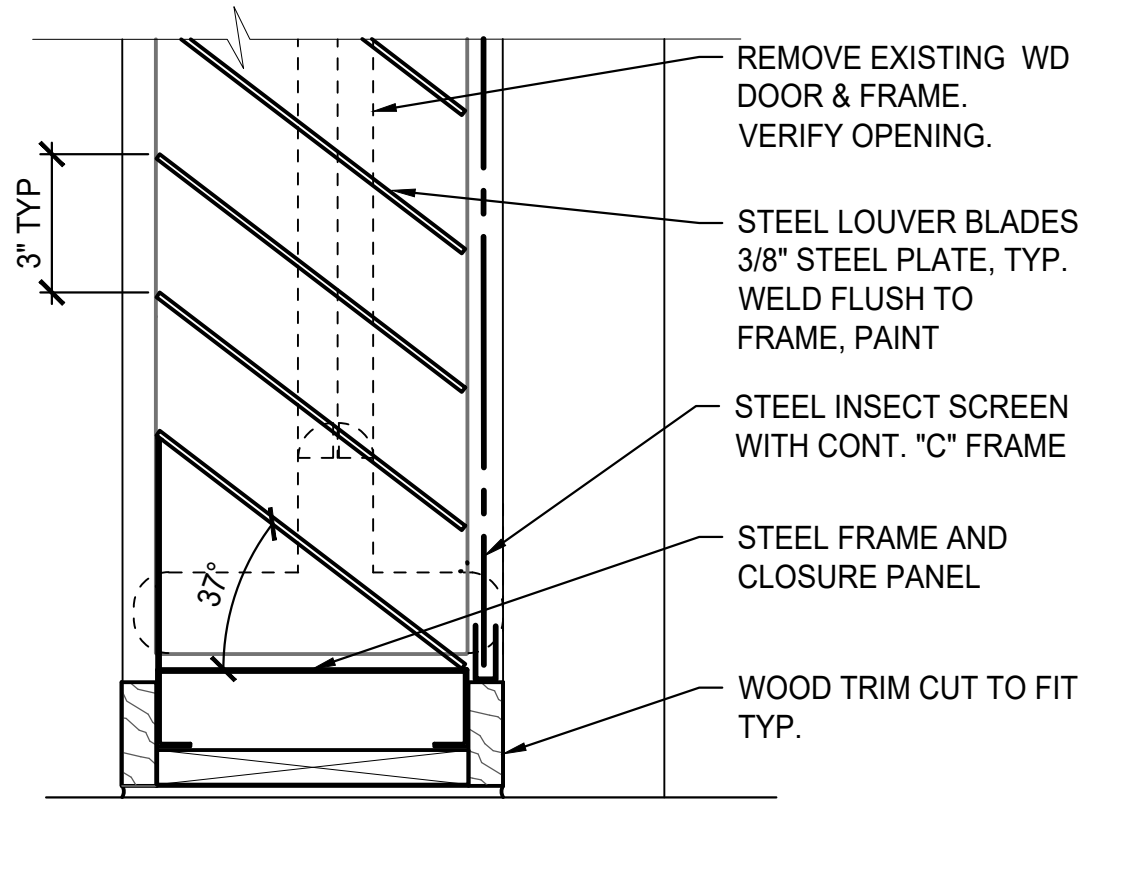
**19 THRESHOLD**  
SCALE: 3" = 1'-0" RESTROOM



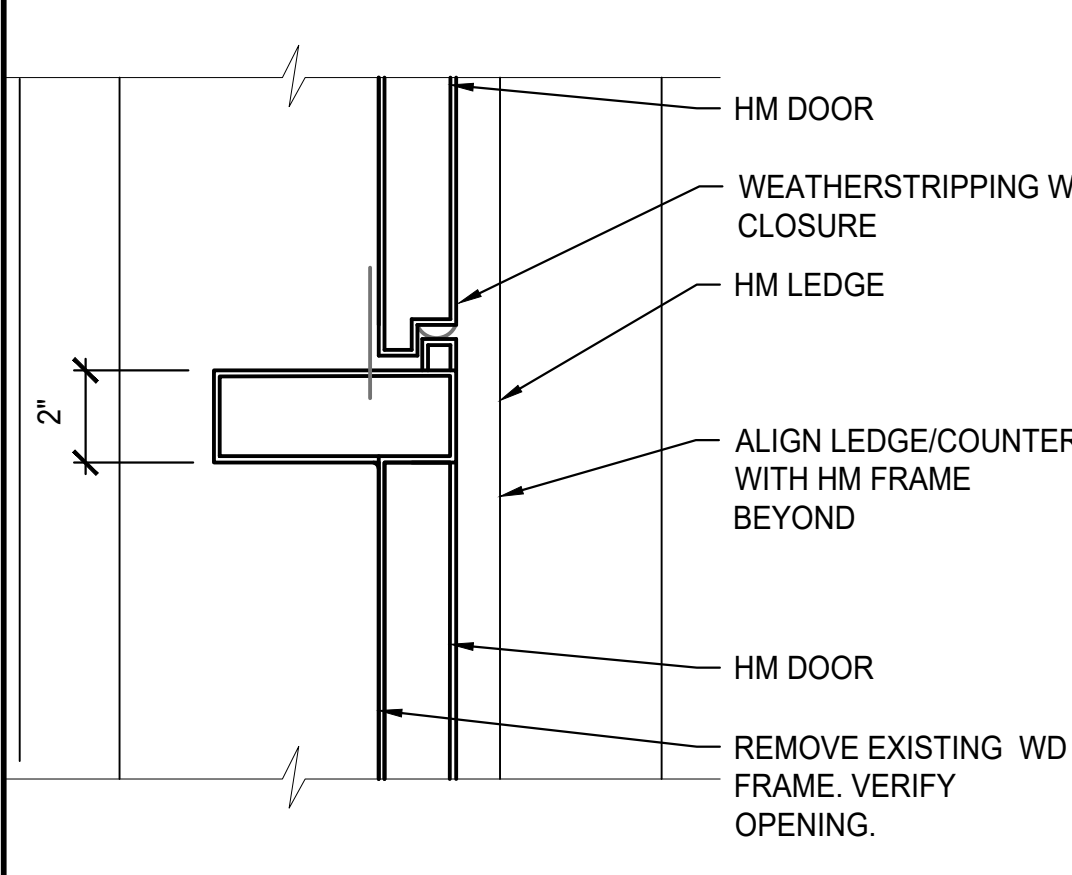
**15 WINDOW SILL**  
SCALE: 3" = 1'-0" OFFICE



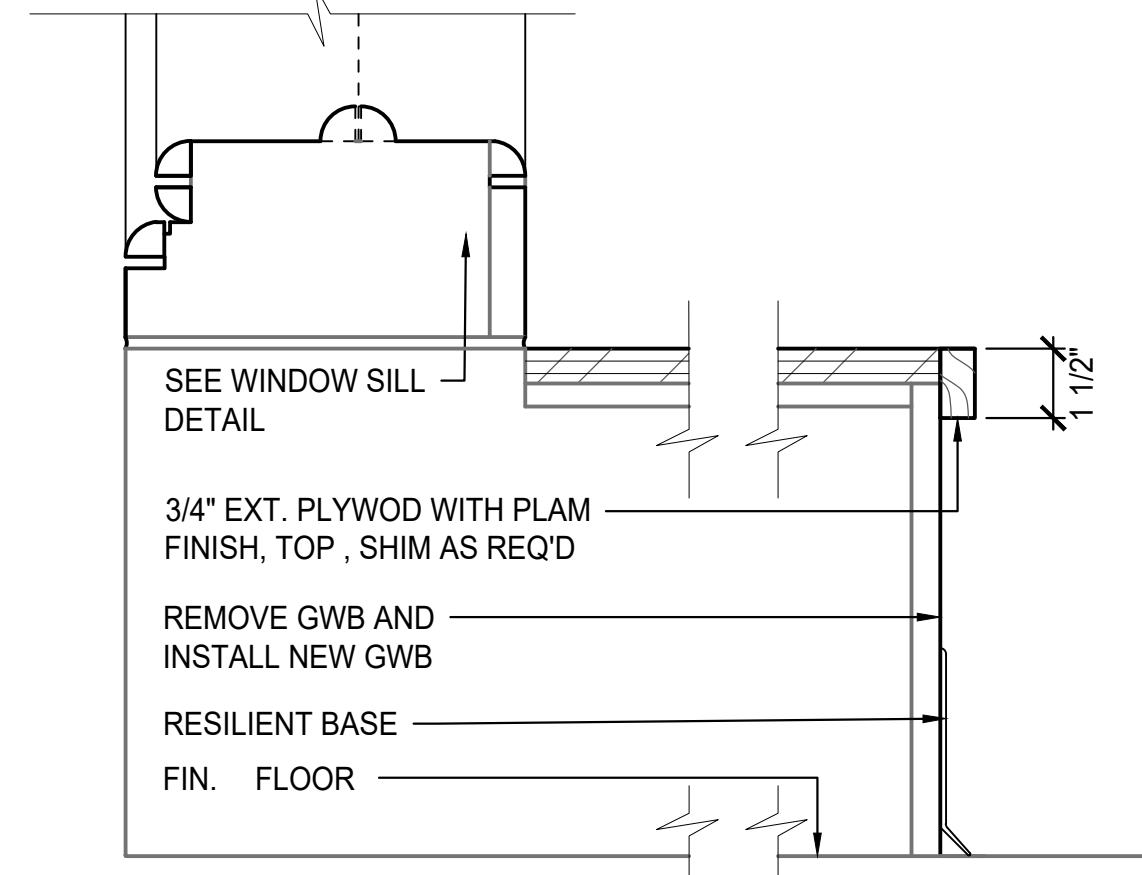
**11 DOOR THRESHOLD**  
SCALE: 3" = 1'-0" STORAGE



**7 LOUVER SILL**  
SCALE: 3" = 1'-0" RESTROOM



**20 DUTCH DOOR COUNTER**  
SCALE: 3" = 1'-0" OFFICE



**16 SILL**  
SCALE: 3" = 1'-0" OFFICE

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3		
2		
1		
NO.	REVISION - AS BUILT	DATE

REVIEWED: \_\_\_\_\_ DATE \_\_\_\_\_  
PARK ENGINEER

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**rolluda architects**  
architecture planning interior design

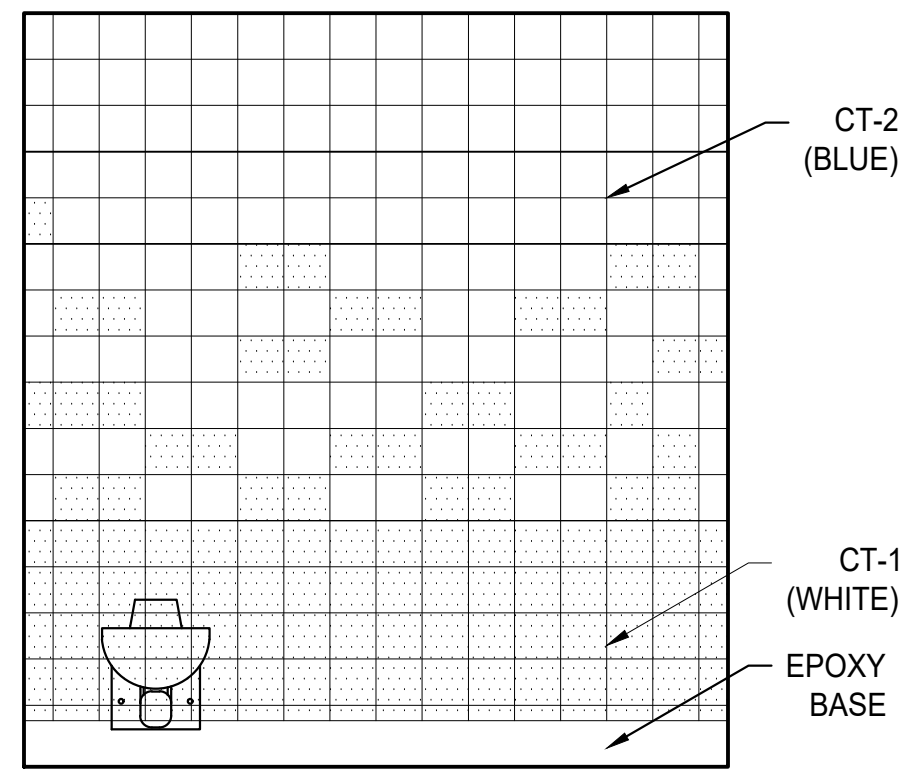
**100% Submission**

6250 REGISTERED ARCHITECT  
*Alex E. Rolluda*  
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STATE OF WASHINGTON

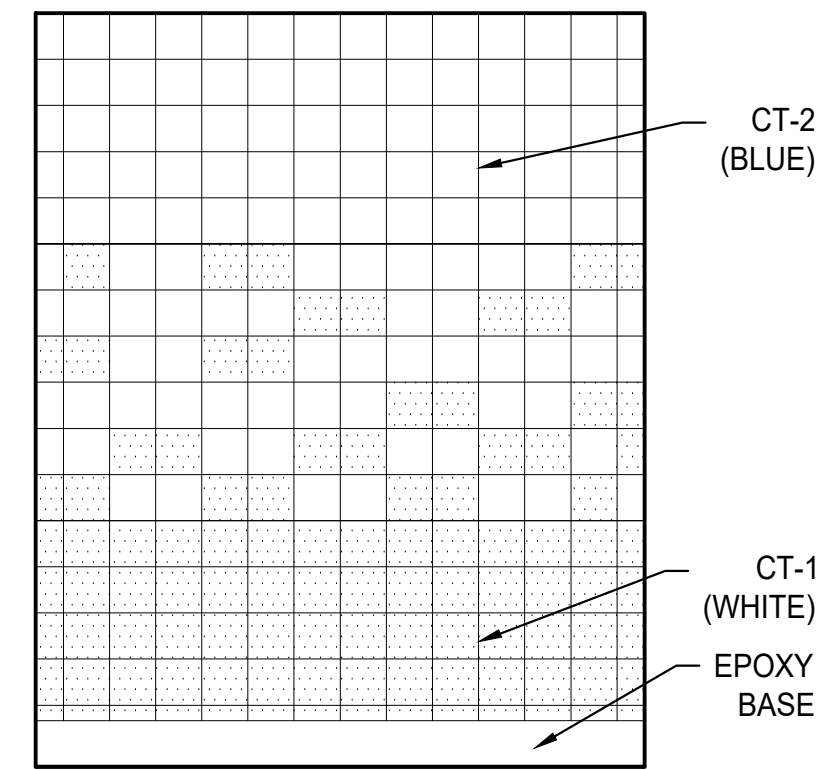
**Seattle Parks & Recreation**

**HING HAY PARK**  
**COMFORT STATION RENOVATION**

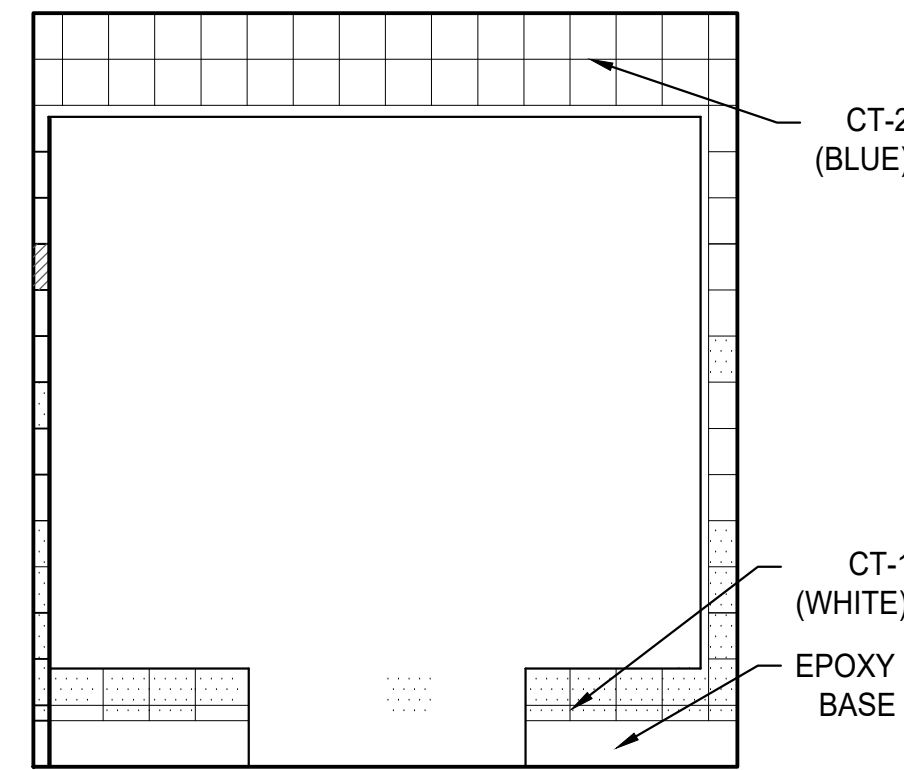
DESIGNED SN	DATE 04/10/2020
DRAWN SN/AS	SHEET 14 of 22
CHECKED AR	
ORDINANCE NO. 124927	<b>A-902</b>
SPECIFICATION NO. 2034	
SCALE VARIES	



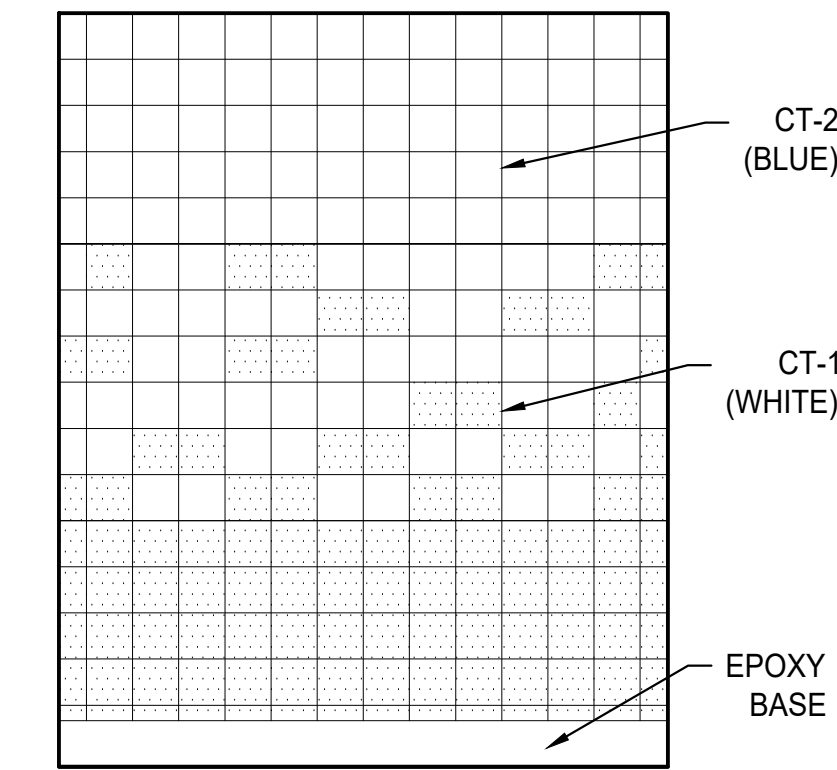
A: NORTH



B: EAST

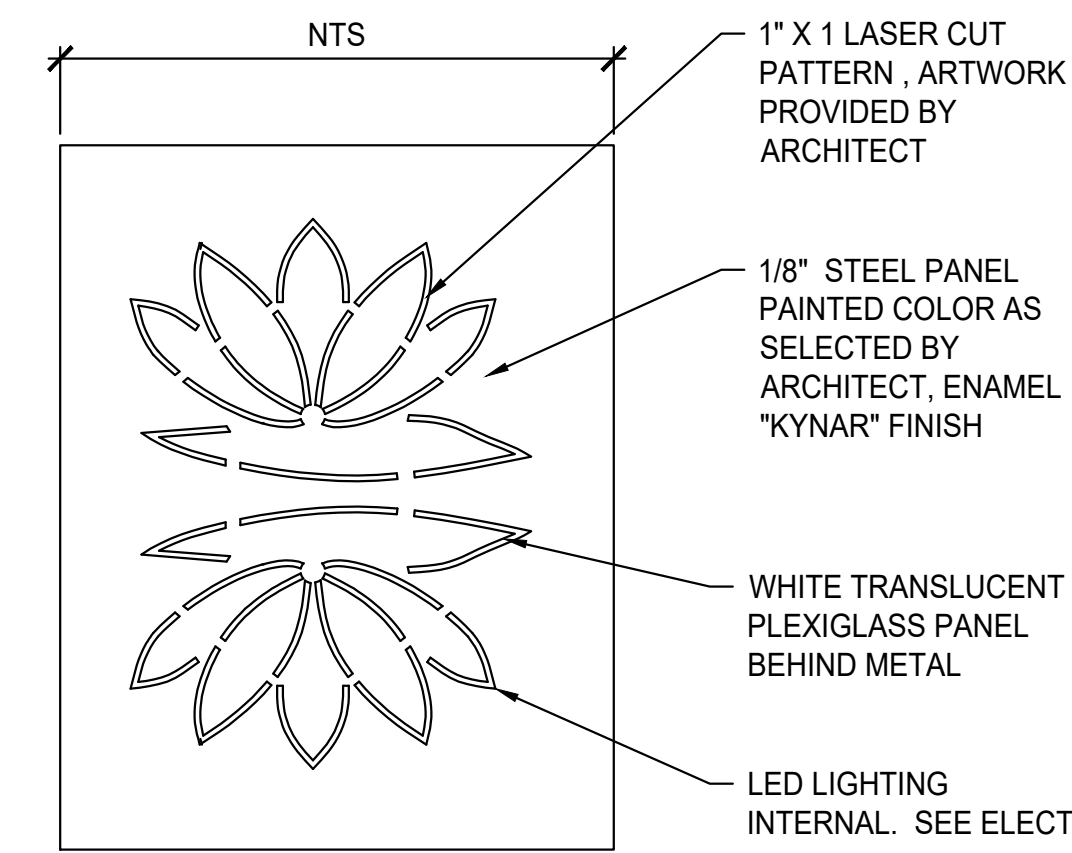


C: SOUTH

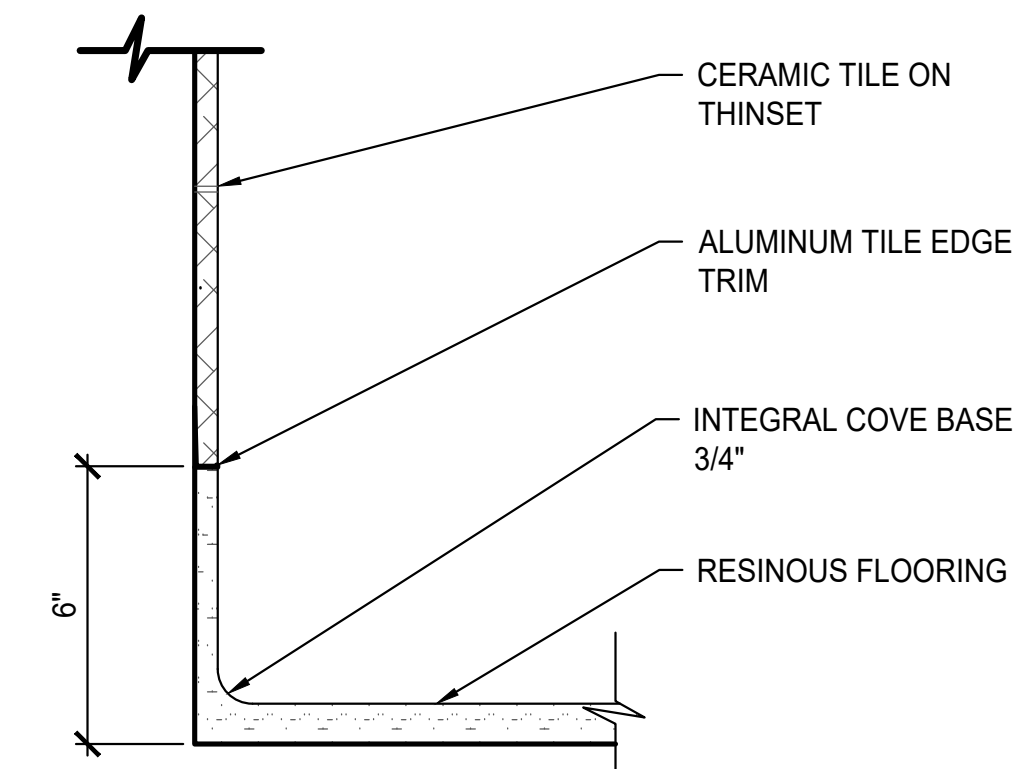


D: WEST

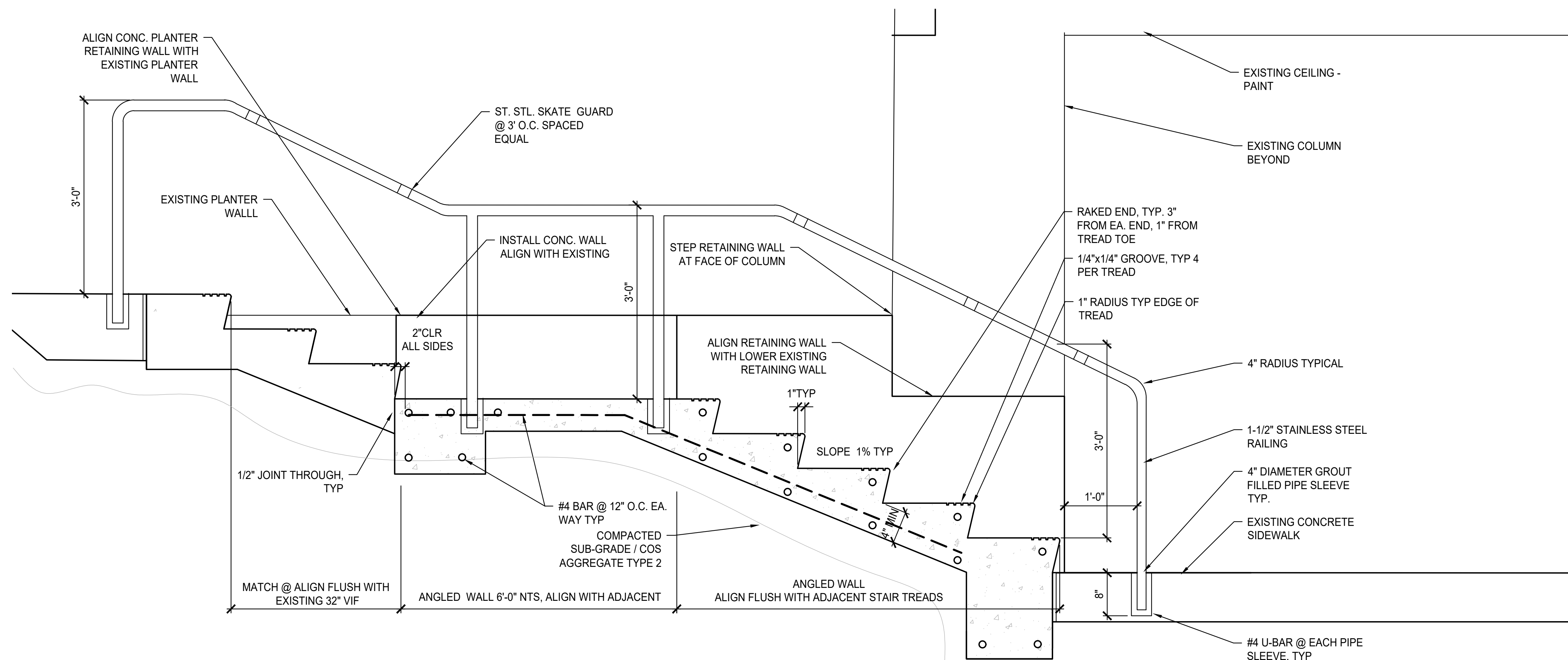
1 CERAMIC TILE PATTERN  
SCALE: 1/2" = 1'-0"



6 PANEL - BACKLIT  
SCALE: 1 1/2" = 1'-0"



2 COVE BASE  
SCALE: 3" = 1'-0"



12 RAILING & STAIR SECTION  
SCALE: 1" = 1'-0"

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Seattle  
Parks & Recreation

HING HAY PARK

COMFORT STATION  
RENOVATION

DETAILS

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DRAWN SN/AS	SHEET 15 of 22
CHECKED AR	
ORDINANCE NO. 124927	A-903
SPECIFICATION NO. 2034	
SCALE VARIES	



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**100% Submission**

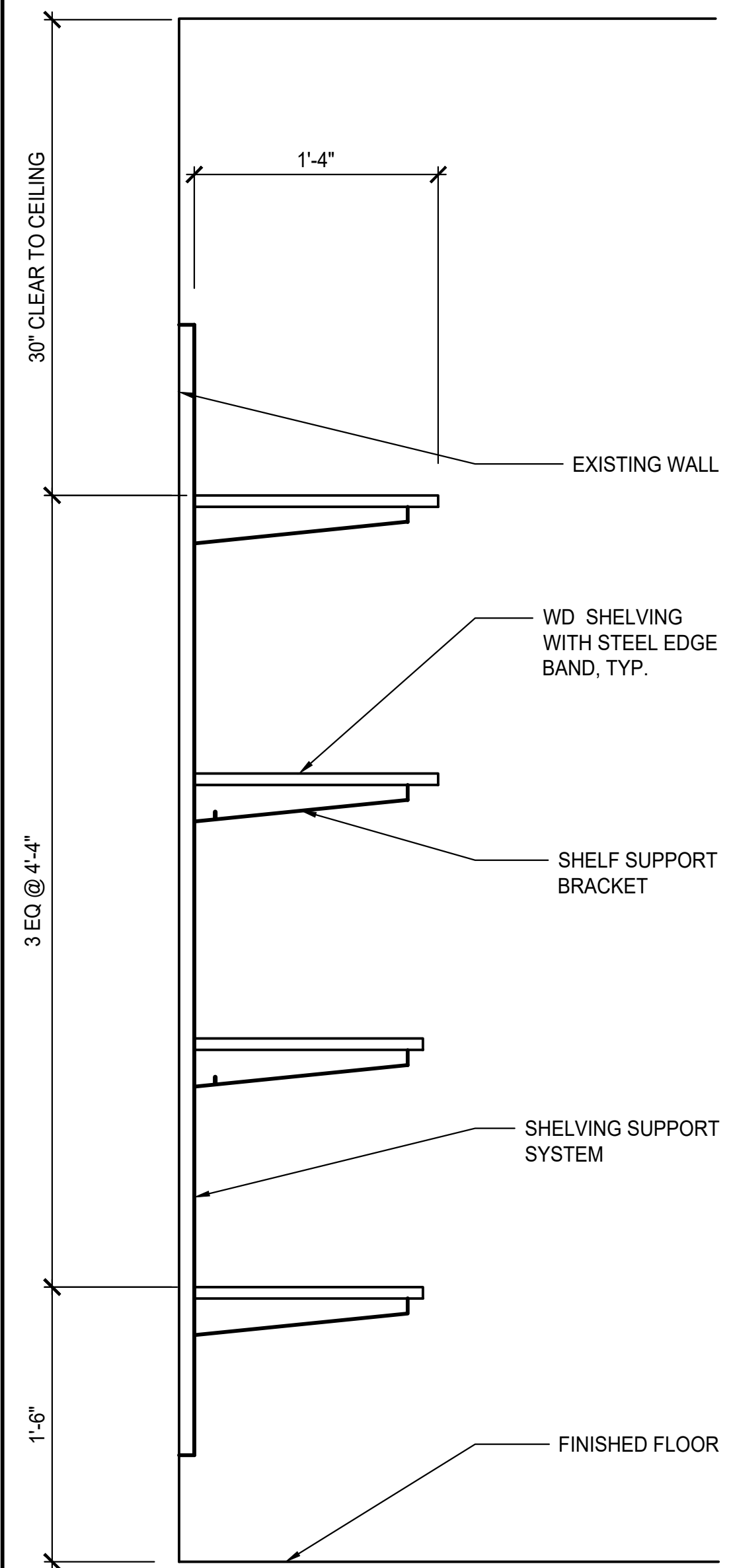


HING HAY PARK

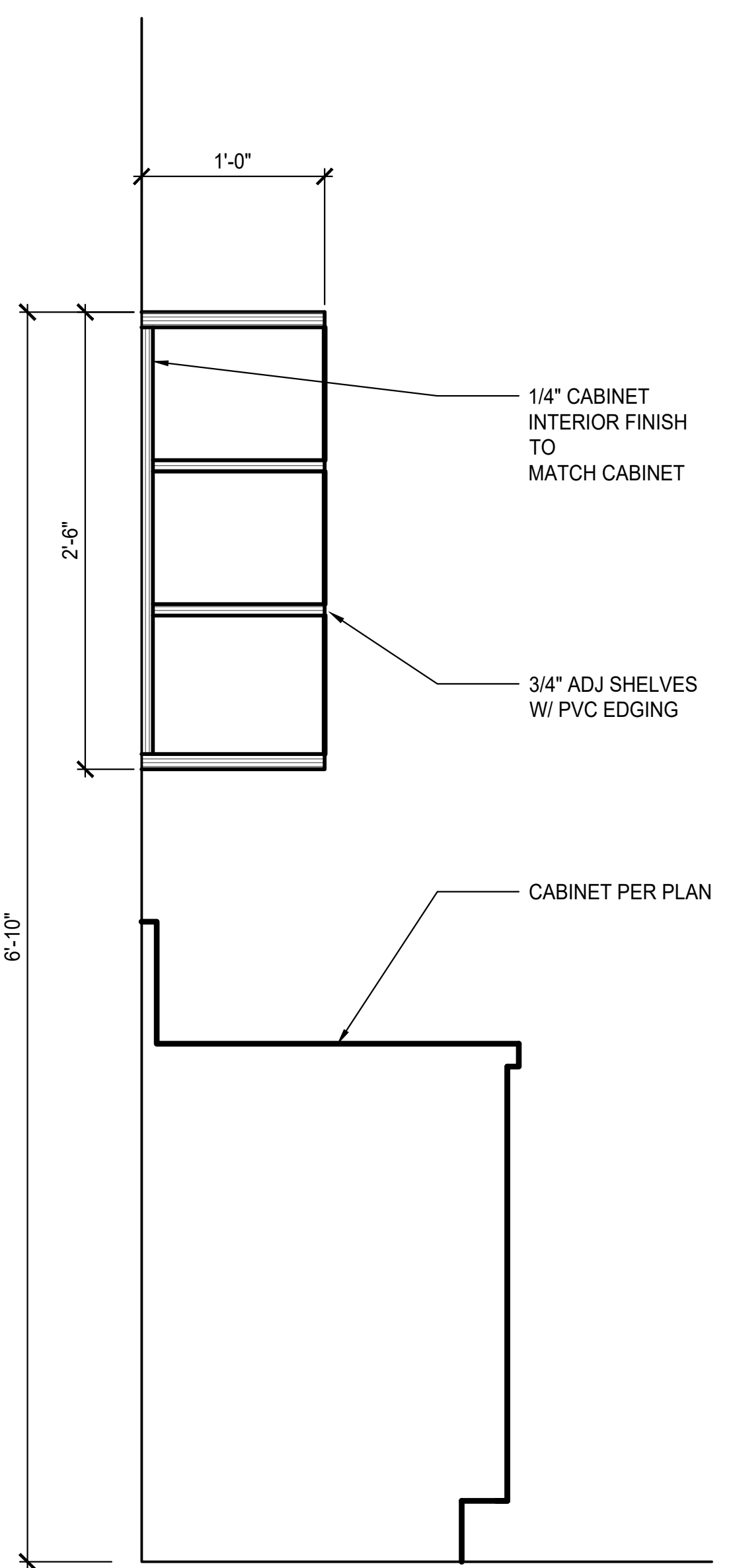
**COMFORT STATION RENOVATION**

**DETAILS**

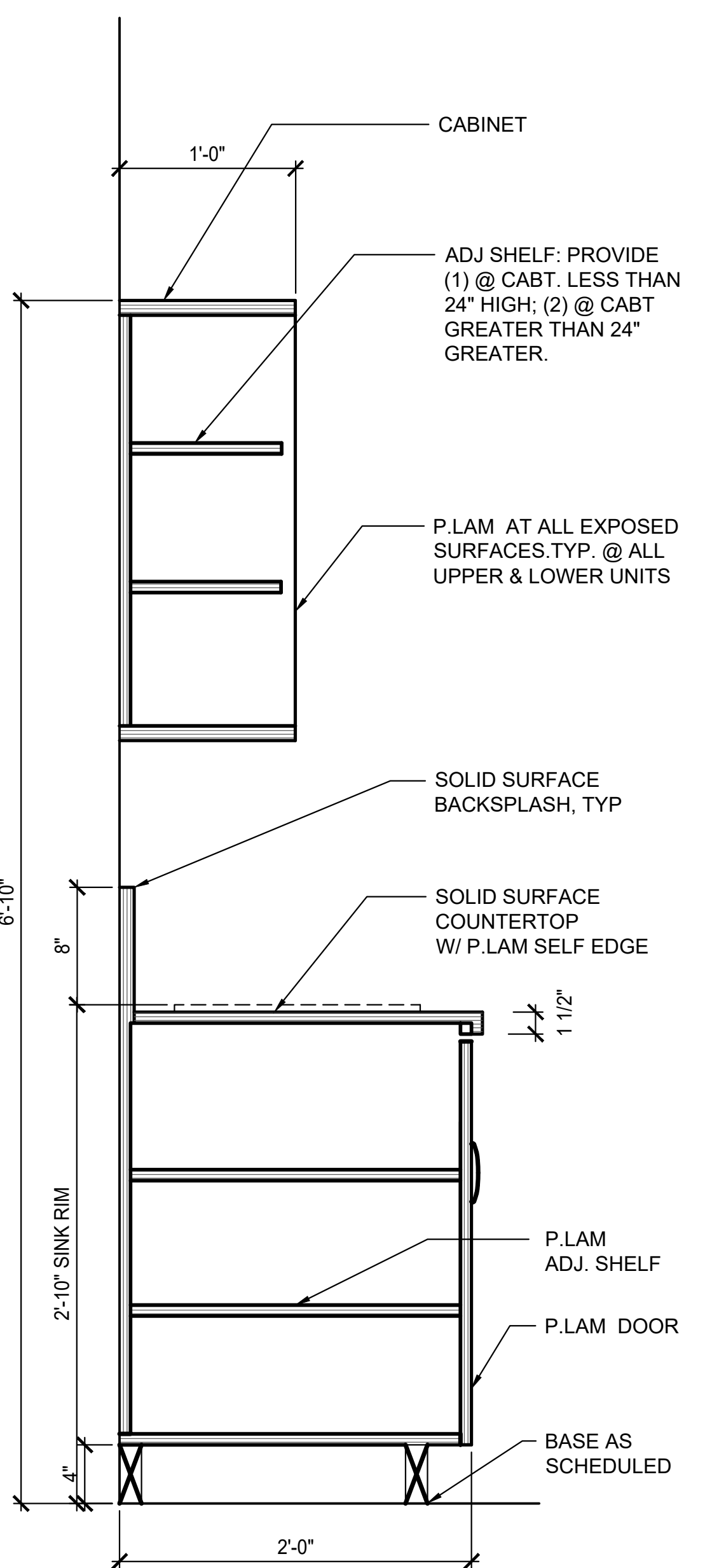
DESIGNED	SN	DATE	04/10/2020
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ORDINANCE NO.	124927		<b>A-904</b>
SPECIFICATION NO.	2034		
SCALE	VARIABLES		



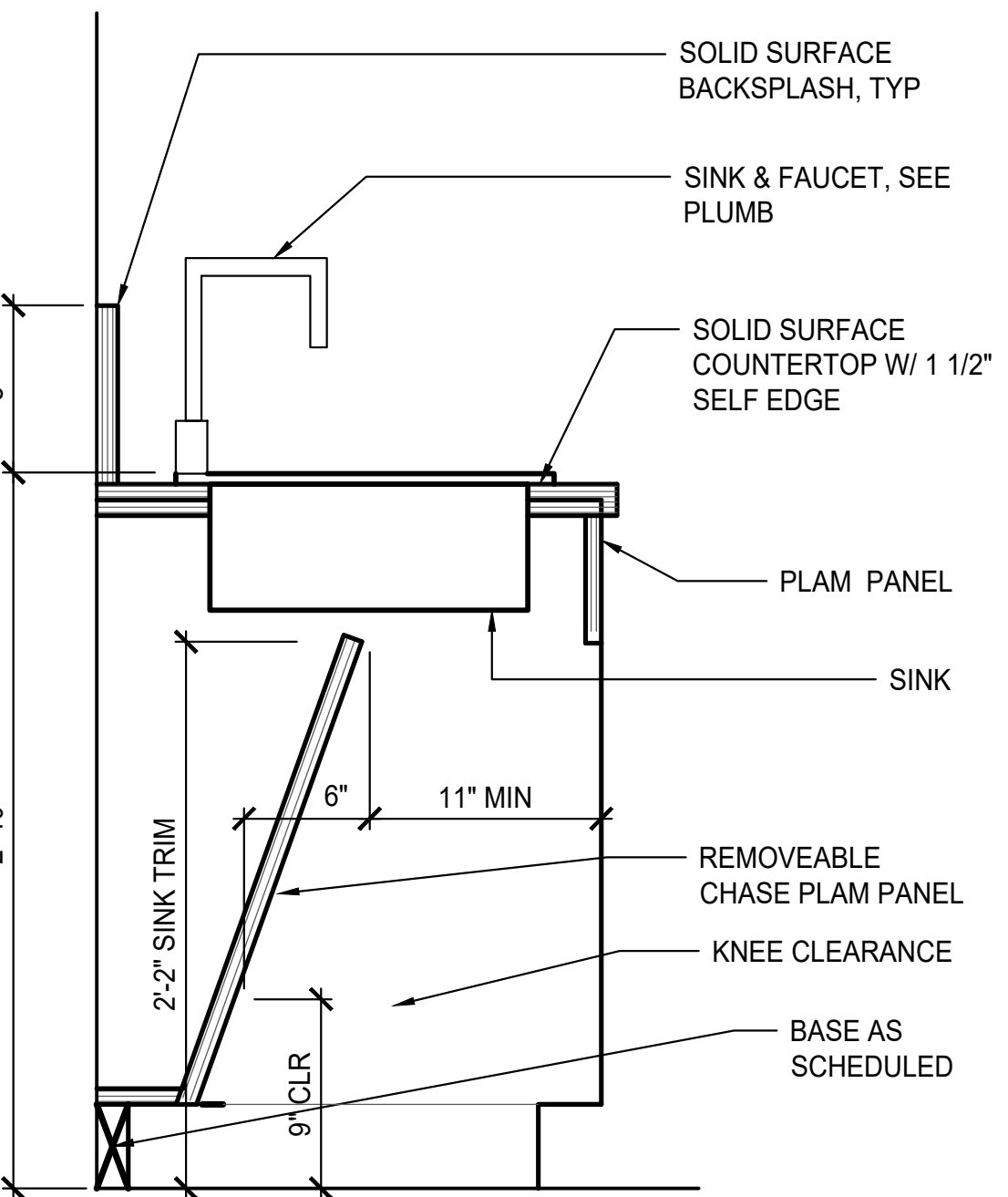
**20** **SHELVING**  
 SCALE: 1 1/2" = 1'-0"



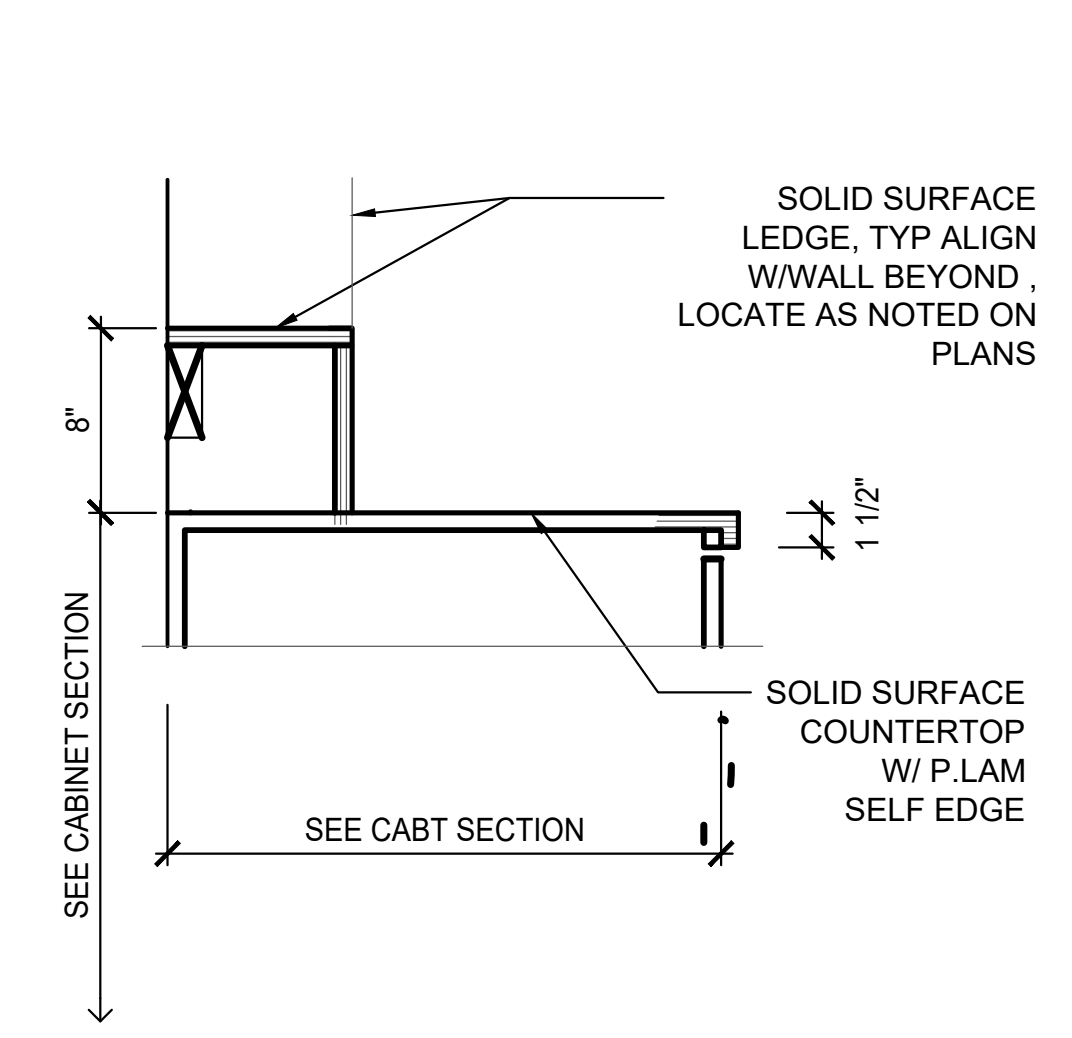
**16** **UPPER CABINET (OPEN)**  
 SCALE: 1 1/2" = 1'-0"



**12** **LOWER & UPPER CABINET, TYP**  
 SCALE: 1 1/2" = 1'-0"



**8** **COUNTER @ SINK**  
 SCALE: 1 1/2" = 1'-0"



**3** **LEDGE @ CABINET**  
 SCALE: 1 1/2" = 1'-0"

PLUMBING FIXTURE SCHEDULE

FIXTURE NO	FIXTURE	DESCRIPTION /MANUFACTURER/MODEL NUMBERS	LOCAL PIPING CONNECTION				NOTES
			W	V	CW	HW	
P-1	WATER CLOSET	TYPE, MFR., MODEL: WALL HUNG, FLUSH VALVE; ACORN, #M2105-E500-W-1-CN-HS-W03 VALVE: ROYAL PUSH BUTTON FLUSH VALVE, #905, 3.5 GALLON FLUSHOMETER, ADA, SEAT: OPEN FRONT, SOLID PLASTIC WHITE SEAT; BEMIS OR ACORN HANGER: VERTICAL COMPACT SUPPORT MISCELLANEOUS: FLUSH CONTROL SHALL BE MOUNTED FOR USE FROM WIDE SIDE OF WATER CLOSET AREA, FITTINGS: WIDE BRASS CONNECTOR HANDICAPPED - MOUNTING HEIGHT FROM FLOOR TO TOP OF SEAT SHALL BE A MAXIMUM OF 19" AND MINIMUM OF 17"	4"	2"	1"	-	HANDICAPPED
P-2	LAVATORY	TYPE, MFR., MODEL: WALL HUNG, SINGLE-HOLE, ACORN #1953-ADA-1-9-H1-GE FAUCET: CHICAGO, METERING VALVES WITH PUSH BUTTON HANDLE, 2.2 GPM AERATOR, TRAP & TAILPIECE: MCGUIRE OR EQUAL, 1-1/2" CHROME PLATED CAST BRASS P-TRAP WITH CLEANOUT AND TAILPIECE SUPPLIES: LOOSE KEY QUARTER-TURN BALL STOP WITH FLEXIBLE BRAIDED STAINLESS STEEL RISERS; BRASSCRAFT HANGER: FLOOR-MOUNTED WITH CONCEALED ARMS. MISCELLANEOUS: PROVIDE INSULATION ON TRAP AND SUPPLIES PER SPECIFICATIONS	2"	1-1/2"	1/2"	1/2"	HANDICAPPED
P-3	SINK	TOP MOUNTED, ELKAY 18" X 24" X 6" DEEP, ADA FAUCETS: 8" CENTERS, SINGLE WING HANDLES, GOOSENECK SPOUT, BASKET STRAINER. CHICAGO FAUCETS NO. 1100-GN8A3-317AB, 2.2 GPM VANDAL RESISTANT AERATOR. TRAPS & TAILPIECES: MCGUIRE, OR EQUAL, 1-1/2" CHROME PLATED CAST BRASS P-TRAP AND TAILPIECE SUPPLIES: BRASSCRAFT NO. SCR3912AC, OR EQUAL BY MCGUIRE OR EASTMAN. LOOSE KEY COMPRESSION STOPS AND FLEX SUPPLIES MISCELLANEOUS: PROVIDE WITH GARBAGE DISPOSER, CONTINUOUS FEED, COMPLETE WITH STAINLESS STEEL GRINDING COMPONENTS AND STAINLESS STEEL SINK FLANGE; WASTEKING LEGEND NO. 9930, 1/2 HP, 120V	2"	1-1/2"	1/2"	1/2"	
P-4	SINK	FREE STANDING, DOUBLE COMPARTMENT, 16-GA. STAINLESS STEEL, OVERALL 89"x29" ELKAY RNSFB24BLR. FAUCETS: 8" CENTERS, SINGLE WING HANDLES, GOOSENECK SPOUT, BASKET STRAINER. CHICAGO FAUCETS NO. 445-DJ26ABCP 2.2 GPM VANDAL RESISTANT AERATOR. TRAPS & TAILPIECES: MCGUIRE, OR EQUAL, 1-1/2" CHROME-PLATED CAST BRASS P-TRAP WITH CLEANOUT & TAILPIECE. SUPPLIES: LOOSE KEY QUARTER-TURN BALL STOP WITH FLEXIBLE BRAIDED STAINLESS STEEL RISERS; BRASSCRAFT	2"	1-1/2"	1/2"	1/2"	PROVIDE JR SMITH 8710T SEDIMENT TRAP (LOCATE INSIDE OF BUILDING)
P-5	SERVICE SINK	TYPE, MFR., MODEL: FLOOR MOUNT, 24"x24", ONE PIECE, FIAT, TT8242401, 24X24X10, GRAY FAUCET: ADJUSTABLE INLETS, VACUUM BREAKER SPOUT, PAIL HOOK WITH WALL SUPPORT, INTEGRAL STOPS, 3/4" HOSE THREAD OUTLET; ZURN FAUCETS NO. Z843M1-RC TRAP & TAILPIECE: PROVIDED WITH UNDERGROUND WASTE PIPING. SUPPLIES: INTEGRAL TO FAUCET. MISCELLANEOUS: PROVIDE SERVICE SINK WITH STAINLESS STEEL WALL GUARDS, 30" LONG 3/4" HOSE AND HOSE BRACKET AND STAINLESS STEEL MOP HANGER. SEAL SEAM BETWEEN SERVICE SINK AND WALL WITH SILICONE SEALANT	3"	2"	3/4"	3/4"	FLOOR MOUNTED
P-7	FREEZELESS WALL HYDRANT	QUARTER-TURN, NON-FREEZE WALL HYDRANT WITH INTEGRAL VACUUM BREAKER AND STAINLESS STEEL BOX, LOOSE KEY, HINGED LOCKING COVER, ADJUSTABLE WALL CLAMP, NICKEL-BRONZE BOX FACE; JAY R SMITH 5509QT	-	-	3/4"	-	
P-9	TRAP PRIMER MANIFOLD	FLUSH-MTD ELECTRONIC TRAP PRIMING ASSEMBLY IN STL CABT WITH ATMOSPHERIC VACUUM BREAKER, PRE-SET 24-HOUR CHANGE, MANUAL OVERRIDE SWITCH, SOLENOID VALVE, 3/4" CONNECTION; PRIMETIME PT-4 4-VALVE UNIT, PT-6 6-VALVE UNIT, AS REQUIRED. PROVIDE ACCESS DOOR TO SUIT LOCATION. POWER CONNECTION 0.33 AMPS 120/1Ø.	-	-	3/4"	-	

ELECTRIC WATER HEATER SCHEDULE

UNIT NO.	LOCATION	MFR	MODEL	ELECTRIC ELEMENT KW	RECOVERY @ 100' F TEMPERATURE RISE	EFFICIENCY (%)	TANK SIZE (GAL)	ELECTRICAL		NOTES
								VOLT	PH	
HWT-1	WALL	TABCO	7-PS-92	3	NA	95	NA	120	1	

NOTES:  
1. ASME RATED  
2. TABCO OR APPROVED EQUAL  
3. EFFICIENCY SHALL MEET THE MINIMUM REQUIREMENTS ON WSEC C404.2



MECHANICAL EQUIPMENT SCHEDULE

UNIT NO.	LOCATION	MFR	MODEL	SEER	REFRIG	AMP	ENERGY STAR	BTUH	ELECTRICAL		NOTES
									VOLT	PH	
DCT-1	EXTERIOR WALL MT	PANASONIC	CU-XE9SKUA	3	R410A	3.5	YES	8700	208	1	
DCT-2	INTERIOR WINDOW MT	PANASONIC	CS-XE9SKUA	3	R410A	2.4	YES	-	208	1	
F1	CEILING RESTROOM	PANASONIC	FV-15N-F561	-	-	0.41	YES	-	120	1	150 CFM

NOTES:  
1. ASME RATED  
2. OR APPROVED EQUAL  
3. EFFICIENCY SHALL MEET THE MINIMUM REQUIREMENTS ON WSEC C404.2

GENERAL FIRE PROTECTION NOTES

- SCOPE OF WORK INCLUDES MODIFYING EXISTING FIRE SPRINKLER SYSTEM TO ACCOUNT FOR THE REVISIONS SHOWN ON THE ARCHITECTURAL DRAWINGS AS REQUIRED BY NFPA 13. THIS SHALL INCLUDE BUT NOT BE LIMITED TO MAKING ADJUSTMENTS TO SPRINKLER HEAD LOCATIONS AND QUANTITY TO ACCOUNT FOR THE INSTALLATION OF NEW WALL, CEILINGS, AND THE REMOVAL OF EXISTING WALLS AND CEILINGS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID IN ORDER TO UNDERSTAND THE EXACT SCOPE OF WORK.
- PROJECT SCOPE IS TO MODIFY THE EXISTING SYSTEM SO THAT BUILDINGS AREAS MODIFIED BY THIS PROJECT ARE COVERED BY NFPA 13.
- THESE DRAWINGS ARE CONCEPTUAL AND INFORMATIONAL AND BIDDING PURPOSES ONLY. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO BID.
- THE FIRE SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION WITH ALL DISCIPLINES.
- INSTALLATION SHALL COMPLY WITH ALL GOVERNING CODES AND (LOCAL AND STATE).

GENERAL HVAC NOTES

- INSTALLATION SHALL COMPLY WITH ALL GOVERNING CODES AND REGULATIONS.
- REFER TO ARCHITECTURAL DRAWING. LOCATE THERMOSTATS, PANELS, ETC. SO THEY DO NOT CONFLICT WITH GENERAL CONSTRUCTION
- MOUNT THERMOSTATS 48" U.O.N
- REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF MECHANICAL EQUIPMENT
- ARRANGE HVAC EQUIPMENT SO THAT ACCESS CLEARANCES, REQUIRED CODES, AND MANUFACTURER RECOMMENDATIONS ARE PROVIDED. CENTER IN CEILING TILES, CENTER IN ROOMS, OR WHERE INDICATED ON ARCHITECTURAL DRAWINGS.
- REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL WORK
- VERIFY ELECTRICAL REQUIREMENTS DURING SUBMITTAL PROCESS.
- PROVIDE FIRE DAMPERS THROUGH RATED WALLS AND CEILINGS
- CONNECT RESTROOM EXHAUST TO EXISTING RESTROOM EXHAUST AND IN CENTER OF ROOMS
- SEAL AND LEAK TEST DUCTWORK
- BALANCE AND COMMISSION HVAC
- PROVIDE RECORD DRAWINGS AT END OF PROJECT
- COORDINATE DEMOLITION WITH OTHER WORK
- PROVIDE ALL DEMOLITION AS REQUIRED FOR NEW WORK
- PATCH ALL FLOORS, WALLS, CEILINGS, AND BUILDING ELEMENTS DISTURBED BY WORK. RETURN TO ORIGINAL CONDITION

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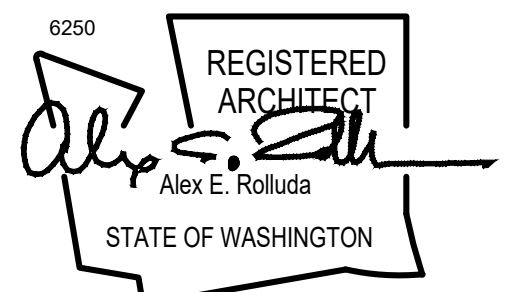
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rolluda architects  
architecture planning interior design

100% Submission



Seattle Parks & Recreation

HING HAY PARK

COMFORT STATION  
RENOVATION

NOTES, SCHEDULES

DESIGNED SN	DATE 04/10/2020
DRAWN SN/AS	
CHECKED AR	SHEET 17 OF 22
ORDINANCE NO. 124927	MP-001
SPECIFICATION NO. 2034	
SCALE 1/4" = 1'-0"	

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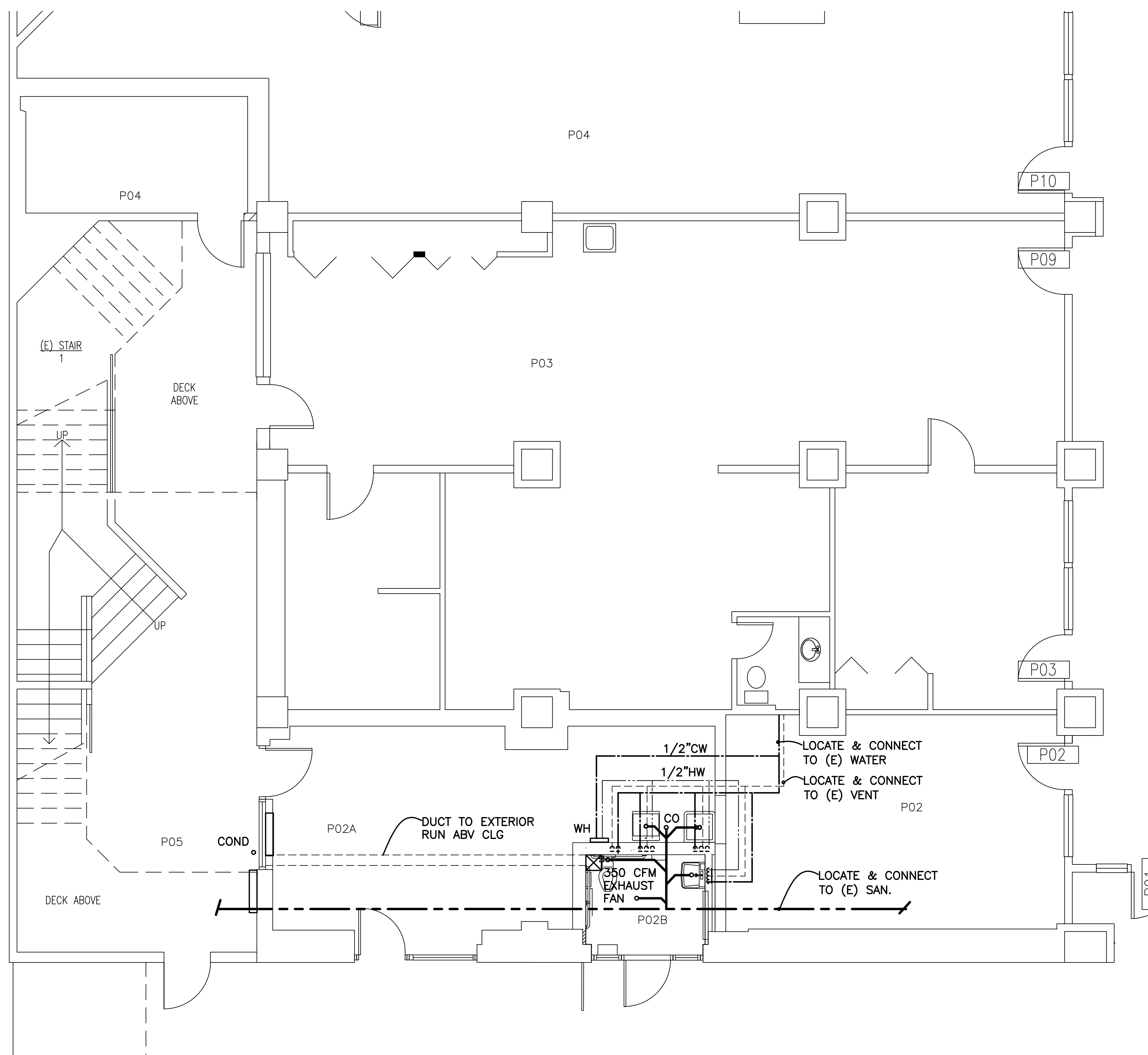
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HING HAY PARK  
**COMFORT STATION  
 RENOVATION**

**PLANS**

DESIGNED SN	DATE 04/10/2020
DRAWN SN/AS	SHEET 18 OF 22
CHECKED AR	
ORDINANCE NO. 124927	<b>MP-101</b>
SPECIFICATION NO. 2034	
SCALE 1/4" = 1'-0"	



**MECHANICAL & PLUMBING PLAN**  
 SCALE: 1/4" = 1'-0" **1**

PLUMBING FIXTURE SCHEDULE

ELECTRIC WATER HEATER SCHEDULE

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FIXTURE NO	FIXTURE	DESCRIPTION/MANUFACTURER/MODEL NUMBERS	LOCAL PIPING CONNECTION				NOTES
			W	V	CW	HW	
P-1	WATER CLOSET	TYPE, MFR., MODEL: WALL HUNG, FLUSH VALVE; ACORN, #M2105-E500-W-1-CN-HS-W03 VALVE; ROYAL PUSH BUTTON FLUSH VALVE, #605, 3.5 GALLON FLUSHOMETER, ADA, SEAT: OPEN FRONT, SOLID PLASTIC WHITE SEAT; BEMIS OR ACORN HANGER: VERTICAL COMPACT SUPPORT MISCELLANEOUS: FLUSH CONTROL SHALL BE MOUNTED FOR USE FROM WIDE SIDE OF WATER CLOSET AREA, FITTINGS: WIDE BRASS CONNECTOR HANDICAPPED - MOUNTING HEIGHT FROM FLOOR TO TOP OF SEAT SHALL BE A MAXIMUM OF 19" AND MINIMUM OF 17"	4"	2"	1"	-	HANDICAPPED
P-2	LAVATORY	TYPE, MFR., MODEL: WALL HUNG, SINGLE-HOLE, ACORN #1953-ADA-1-9-H1-GE FAUCET: CHICAGO, TIP TIP FAUCET, #409-E12, 2.2 GPM AERATOR, TRAP & TAILPIECE: MCGUIRE OR EQUAL, 1-1/2" CHROME PLATED CAST BRASS P-TRAP WITH CLEANOUT AND TAILPIECE SUPPLIES: LOOSE KEY QUARTER-TURN BALL STOP WITH FLEXIBLE BRAIDED STAINLESS STEEL RISERS; BRASSCRAFT HANGER: FLOOR-MOUNTED WITH CONCEALED ARMS. MISCELLANEOUS: PROVIDE INSULATION ON TRAP AND SUPPLIES PER SPECIFICATIONS	2"	1-1/2"	1/2"	1/2"	HANDICAPPED
P-3	SINK	TOP MOUNTED, ELKAY 18" X 24" X 6" DEEP, ADA FAUCETS: 8" CENTERS, SINGLE WING HANDLES, GOOSENECK SPOUT, BASKET STRAINER. CHICAGO FAUCETS NO. 1100-GN8E3-317AB, 2.2 GPM VANDAL RESISTANT AERATOR. TRAPS & TAILPIECES: MCGUIRE, OR EQUAL, 1-1/2" CHROME PLATED CAST BRASS P-TRAP AND TAILPIECE SUPPLIES: BRASSCRAFT NO. SCR3912AC, OR EQUAL BY MCGUIRE OR EASTMAN. LOOSE KEY COMPRESSION STOPS AND FLEX SUPPLIES MISCELLANEOUS: PROVIDE WITH GARBAGE DISPOSER, CONTINUOUS FEED, COMPLETE WITH STAINLESS STEEL GRINDING COMPONENTS AND STAINLESS STEEL SINK FLANGE: WASTEKING LEGEND NO. 9930, 1/2 HP, 120V	2"	1-1/2"	1/2"	1/2"	
P-4	SINK	FREE STANDING, DOUBLE COMPARTMENT, 16-GA. STAINLESS STEEL, OVERALL 89"x29" ELKAY RNSF824BLR. FAUCETS: 8" CENTERS, SINGLE WING HANDLES, GOOSENECK SPOUT, BASKET STRAINER. CHICAGO FAUCETS NO. 445-DJ26ABCP 2.2 GPM VANDAL RESISTANT AERATOR. TRAPS & TAILPIECES: MCGUIRE, OR EQUAL, 1-1/2" CHROME-PLATED CAST BRASS P-TRAP WITH CLEANOUT & TAILPIECE. SUPPLIES: LOOSE KEY QUARTER-TURN BALL STOP WITH FLEXIBLE BRAIDED STAINLESS STEEL RISERS; BRASSCRAFT	2"	1-1/2"	1/2"	1/2"	PROVIDE JR SMITH 8710T SEDIMENT TRAP (LOCATE INSIDE OF BUILDING)
P-5	SERVICE SINK	TYPE, MFR., MODEL: FLOOR MOUNT, 24"x24", ONE PIECE, ENAMELED CAST IRON, ELJER NO. 242-0050 FAUCET: ADJUSTABLE INLETS, VACUUM BREAKER SPOUT, PAIL HOOK WITH WALL SUPPORT, INTEGRAL STOPS, 3/4" HOSE THREAD OUTLET; ZURN FAUCETS NO. Z843M1-RC TRAP & TAILPIECE: PROVIDED WITH UNDERGROUND WASTE PIPING. SUPPLIES: INTEGRAL TO FAUCET. MISCELLANEOUS: PROVIDE SERVICE SINK WITH STAINLESS STEEL WALL GUARDS, 30" LONG 3/4" HOSE AND HOSE BRACKET AND STAINLESS STEEL MOP HANGER. SEAL SEAM BETWEEN SERVICE SINK AND WALL WITH SILICONE SEALANT	3"	2"	3/4"	3/4"	FLOOR MOUNTED
P-7	FREEZELESS WALL HYDRANT	QUARTER-TURN, NON-FREEZE WALL HYDRANT WITH INTEGRAL VACUUM BREAKER AND STAINLESS STEEL BOX, LOOSE KEY, HINGED LOCKING COVER, ADJUSTABLE WALL CLAMP, NICKEL-BRONZE BOX FACE; JAY R SMITH 5509QT	-	-	3/4"	-	
P-9	TRAP PRIMER MANIFOLD	FLUSH-MTD ELECTRONIC TRAP PRIMING ASSEMBLY IN STL CABT WITH ATMOSPHERIC VACUUM BREAKER, PRE-SET 24-HOUR CHANGE, MANUAL OVERRIDE SWITCH, SOLENOID VALVE, 3/4" CONNECTION; PRIMETIME PT-4 4-VALVE UNIT, PT-6 6-VALVE UNIT, AS REQUIRED. PROVIDE ACCESS DOOR TO SUIT LOCATION. POWER CONNECTION 0.33 AMPS 120/1Ø.	-	-	3/4"	-	

UNIT NO.	LOCATION	MFR	MODEL	ELECTRIC ELEMENT KW	RECOVERY @ 100° F TEMPERATURE RISE	EFFICIENCY (%)	TANK SIZE (GAL)	ELECTRICAL VOLT	PH	NOTES
HWT-1	WALL	TABCO	7-PS-92	3	NA	95	NA	120	1	

NOTES:

- ASME RATED
- TABCO OR APPROVED EQUAL
- EFFICIENCY SHALL MEET THE MINIMUM REQUIREMENTS ON WSEC C404.2

MECHANICAL EQUIPMENT SCHEDULE

UNIT NO.	LOCATION	MFR	MODEL	SEER	REFRIG	AMP	ENERGY STAR	BTUH	ELECTRICAL		NOTES
									VOLT	PH	
DCT-1	EXTERIOR WALL MT	PANASONIC	CU-XE9SKUA	3	R410A	3.5	YES	8700	208	1	
DCT-2	INTERIOR WINDOW MT	PANASONIC	CS-XE9SKUA	3	R410A	2.4	YES	-	208	1	
F1	CEILING RESTROOM	PANASONIC	FV-15N-F561	-	-	0.41	YES	-	120	1	150 CFM

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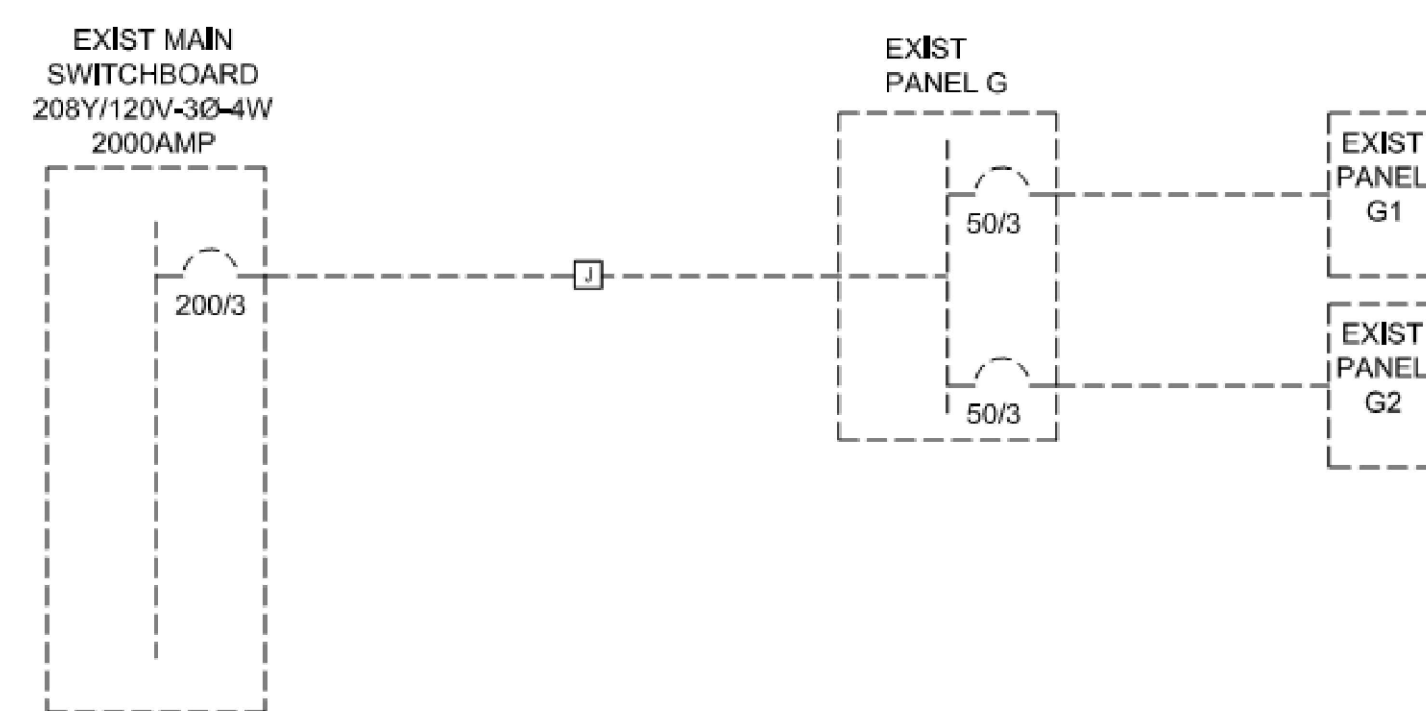
6250  
  
 Alex E. Rolluda  
 REGISTERED ARCHITECT  
 STATE OF WASHINGTON

 **Seattle Parks & Recreation**

HING HAY PARK  
**COMFORT STATION RENOVATION**  
**PLANS**

DESIGNED SN	DATE 04/10/2020
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ORDINANCE NO. 124927	<b>MP-301</b>
SPECIFICATION NO. 2034	
SCALE 1/4" = 1'-0"	

**EXISTING PANELS SERVICE**



**1 PARTIAL ONE LINE DIAGARM**

**LIGHTING SCHEDULE**

UNIT NO.	LOCATION	MFR	MODEL	RECOVERY @ 100° F TEMPERATURE RISE	COLOR	ELEC			TYPE	NOTES
						WATTS	VOLT	LUMEN		
2X2	CONCIERGE	EXISTING	NA	NA		117	120	4509		
1X4	RESTROOM	TABCO		NA	4000	115	120	3798	LED	

NOTES:

**GENERAL ELECTRICAL NOTES**

1. POWER CIRCUITRY SHALL BE ROUTED THROUGH CEILINGS, WALLS,
2. WHEN CIRCUITRY CAN NOT BE LOCATED IN A WALL, CONDUIT WILL BE RUN TIGHT ALONG WALLS, PARALLEL TO COLUMNS AND STRUCTURE.
3. CIRCUITWS TO PANEL G.
4. PROVIDE AND INSTALL SUB-METERING SYSTEM
5. ISOLATE PANEL G FOR USE IN CONCIERGE, REST ROOM, AND STORAGE.
6. SUB-METER ELECTRIC AND WATER.

**SUBMETER NOTES**

1. BUILDING OWNER WILL SUB-METER WATER AND ELECTRIC.
2. SUB-METERING TO BE PROVIDED BY TRIACTA, GUARDIAN, OR OTHER OWNER PROVIDED COMPANY

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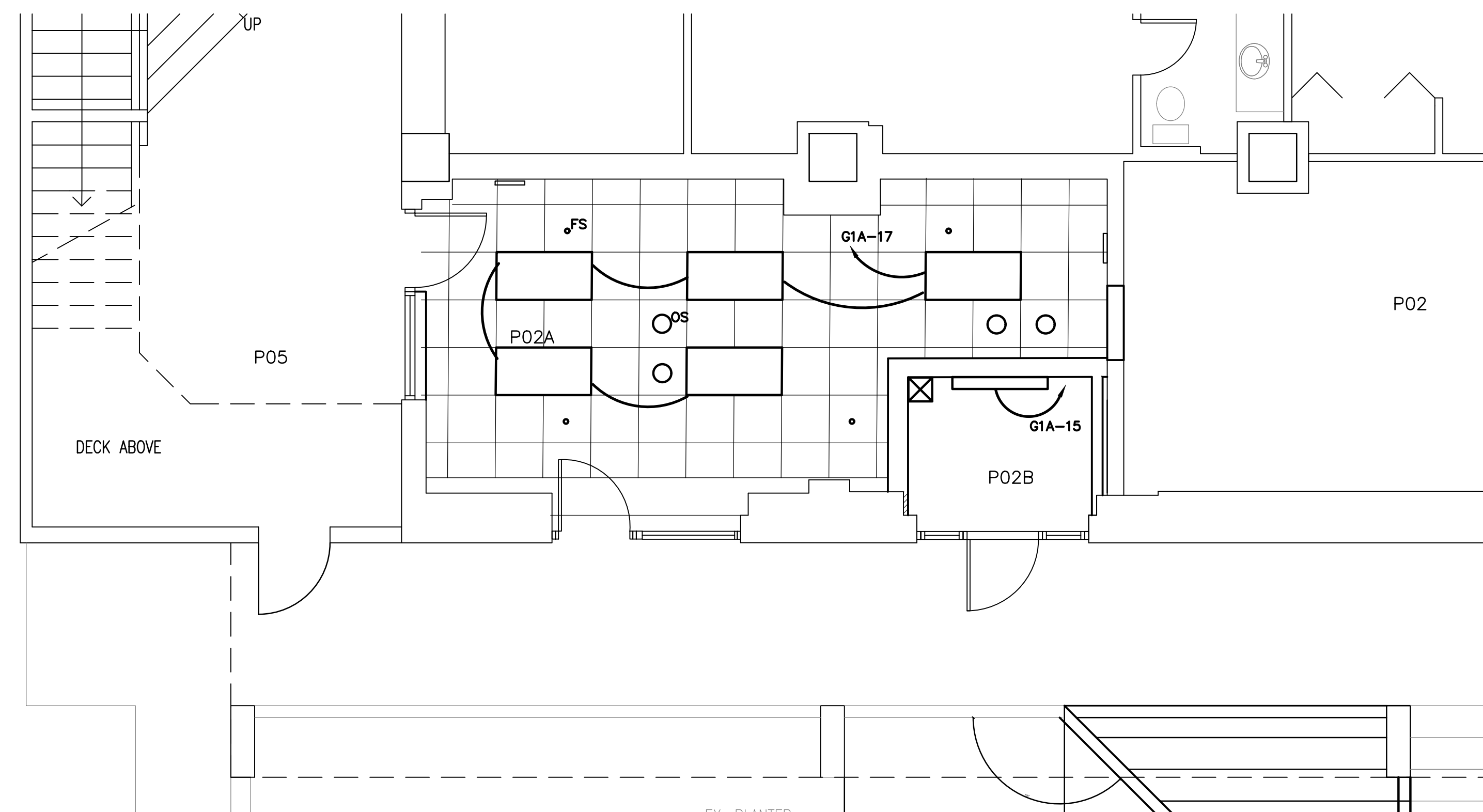
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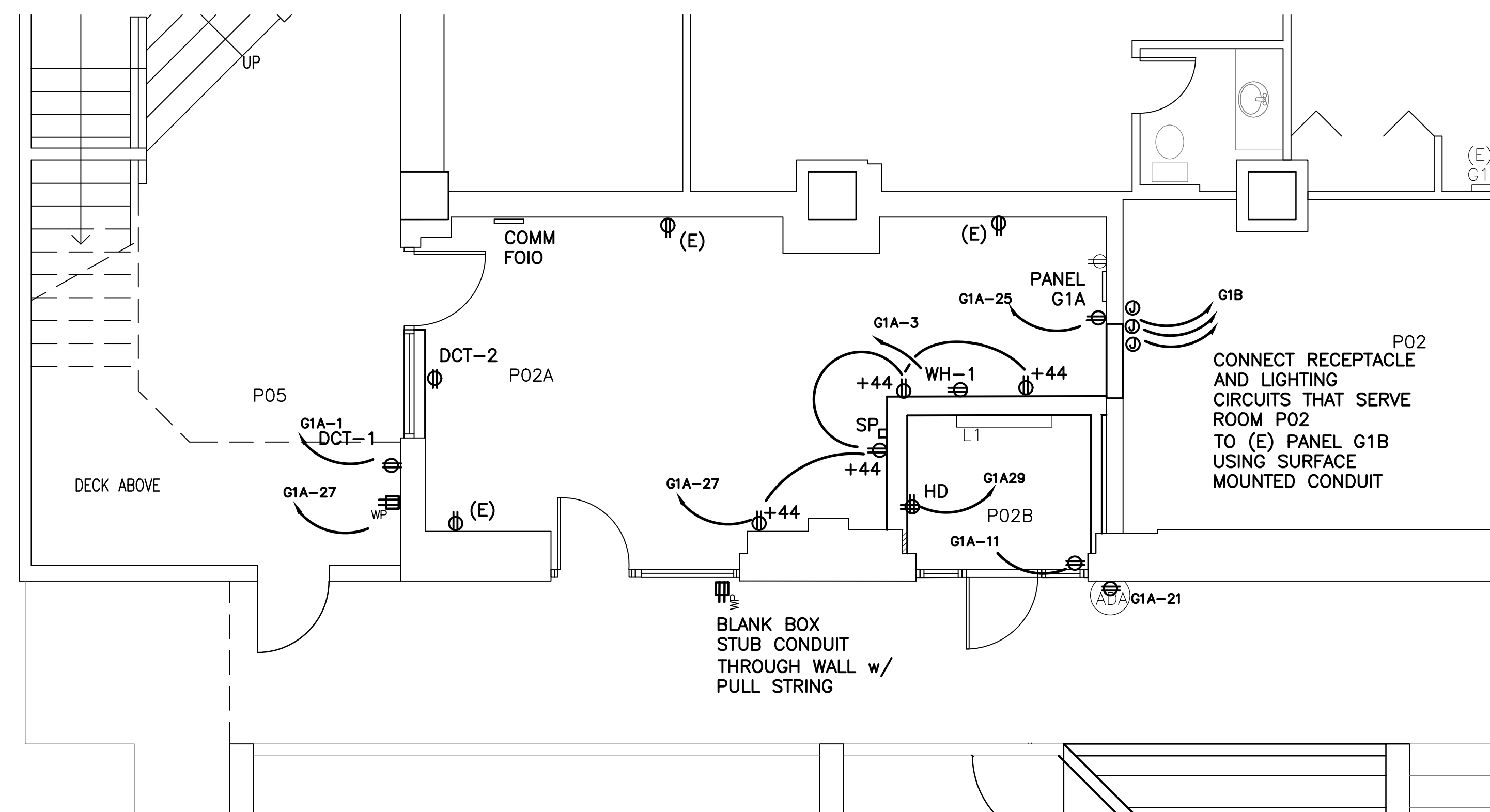


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**LIGHTING PLAN** 2  
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**ELECTRICAL PLAN** 1  
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- CONTRACTOR SHALL PROTECT ALL OPENINGS FROM WATER PENETRATION DURING CONSTRUCTION.
- REPAIR, PATCH, AND PAINT ALL SURFACES SCHEDULED TO REMAIN OR MODIFIED THAT ARE DAMAGED OR AFFECTED BY WORK AS DIRECTED AND APPROVED BY THE ENGINEER.
- REMOVE ALL FLOOR FINISHES AND BASES AS REQUIRED TO ACCEPT NEW FINISHES. PATCH REPAIR AND/OR LEVEL EXISTING FLOORS ARE REQUIRED TO ACCEPT NEW FINISHES.

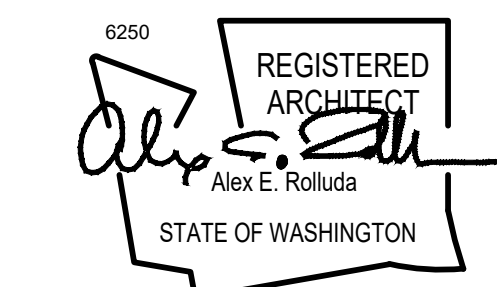
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NO.	REVISION - AS BUILT	DATE

REVIEWED: \_\_\_\_\_ DATE \_\_\_\_\_  
 PARK ENGINEER

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**rolluda architects**  
 architecture planning interior design

**100% Submission**



**Seattle Parks & Recreation**

HING HAY PARK

**COMFORT STATION RENOVATION**

PLANS

DESIGNED SN	DATE 04/10/2020
DRAWN SN/AS	SHEET 21 of 22
CHECKED AR	
ORDINANCE NO. 124927	<b>E-101</b>
SPECIFICATION NO. 2034	
SCALE 1/4" = 1'-0"	

## ELECTRICAL PANEL

1. POWER CIRCUITRY SHALL BE ROUTED THROUGH CEILINGS, WALLS, PARALLEL TO COLUMNS AND STRUCTURE.
2. WHEN CIRCUITRY CAN NOT BE LOCATED IN A WALL, CONDUIT WILL BE RUN TIGHT ALONG WALLS, PARALLEL TO COLUMNS AND STRUCTURE.
3. PROVIDE AND INSTALL BUILDING OWNER SUPPLIED SUB-METERING SYSTEM FOR WATER AND ELECTRICAL. ISOLATE CONCERGE, REST ROOM, AND STORAGE.
4. REMOVE LIGHTING, MICROWAVE, AND RECEPTACLES FROM ADJACENT SPACE AND MOVE TO PANEL G1

EXISTING PANEL G				VOLTS 208 / 120 3 PHASE, 4 WIRE, WYE			
MOUNTING: SURFACE				AMPS 200			
AIC 10,000				MAIN CIRCUIT BEAKER GROUND BUS			
FED FROM	MAIN	DISCONNECT	LOAD KVA	CCT NO.	CCT BRKR	DESCRIPTION	LOAD KVA
1	20/1	LIGHTS	1.00	1	20/1	LIGHTS	1.00
3	20/1	LIGHTS	1.00	3	20/1	LIGHTS	1.00
5	20/1	RECEPTS	0.54	5	20/1	RECEPTS	0.54
7	20/1	RECEPTS	0.54	7	20/1	RECEPTS	0.54
9	20/1	RECEPTS	0.54	9	20/1	RECEPTS	0.54
11	20/1	RECEPTS	0.54	11	20/1	RECEPTS	0.54
13	20/1	RECEPTS	0.54	13	20/1	RECEPTS	0.54
15	20/1	RECEPTS	0.54	15	20/1	RECEPTS	0.54
17	20/1	RECEPTS	0.54	17	20/1	RECEPTS	0.54
19	20/1	REFER	0.70	19	20/1	REFER	0.70
21	20/1	MICRO	1.00	21	20/1	MICRO	1.00
23	20/1	RECEPTS	0.18	23	20/1	RECEPTS	0.18
25	20/1	RECEPTS	0.36	25	20/1	RECEPTS	0.36
27	20/1	WALL HEATER	0.75	27	20/1	WALL HEATER	0.75
29	20/1	SPARE	0.00	29	20/1	SPARE	0.00
31	20/1	SPARE	0.00	31	20/1	SPARE	0.00
33	20/1	SPARE	0.00	33	20/1	SPARE	0.00
37	20/1	SPARE	0.00	37	20/1	SPARE	0.00
39	20/1	SPARE	0.00	39	20/1	SPARE	0.00
41	20/1	SPARE	0.00	41	20/1	SPARE	0.00

CONNECTED LOAD KVA	DEMAND FACTOR	DEMAND LOAD KVA	LOAD
LIGHTS 5.00	125%	6.25	17.35
RECEPTACLES 11.88	100%	11.88	32.98
HEATING 0.75	100%	0.75	2.08
LARGEST MOTOR 0.00	125%	0.00	0.00
OTHER MOTORS 0.70	100%	0.70	1.94
MISCELLANEOUS 1.00	100%	1.00	2.78
KITCH APPLIANCES 1.70	100%	1.70	4.72
		22.28	61.84

**>>>>CAUTION - CALL 811<<<<**  
**UTILITY NOTIFICATION CENTER**  
**BEFORE YOU DIG!**  
**WWW.CALL811.COM**

Also, verify all underground utilities not located by the 811 service by using a commercial location service and call SPR Inspection Request Line (206) 684-7034.

1. SEE APPLICABLE CODES UNDER G-001, BUILDING CODE INFORMATION FOR ACCESSIBILITY REQUIREMENTS. MOST RESTRICTIVE REQUIREMENT APPLIES, UNO.
2. ACCESSIBILITY DETAILS SHOWN ARE TYPICAL AND NOT ALL-INCLUSIVE. DETAILS SHOWN SHALL BE USED WHERE ACCESSIBLE WORK IS IDENTIFIED IN THESE DOCUMENTS. CONTRACTOR SHALL THOROUGHLY REVIEW THESE DOCUMENTS, SHOULD ANY CONFLICTS IN THESE DOCUMENTS ARISE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING PRIOR TO PURCHASE, INSTALLATION, AND CONSTRUCTION OF ANY ELEMENT OF THE WORK.
3. DIMENSIONS ARE IN INCHES, UNO.
4. CONTRACTOR TO FIELD VERIFY DIMENSIONS SHOWN TO ENSURE CONSTRUCTION WILL COMPLY WITH NOTED DIMENSIONS AND REQUIREMENTS. ANTICIPATE CONSTRUCTION TOLERANCES AND MATERIALS AND FINISHES THICKNESSES. NOTIFY ENGINEER IN WRITING IF THERE ARE ANY CONFLICTS PRIOR TO START OF CONSTRUCTION.
5. DRAWINGS. THE DRAWINGS ARE INTENDED TO DESCRIBE THE OVERALL SCOPE OF WORK. CONTRACTORS SHALL FIELD VERIFY EXISTING CONDITIONS AND ALERT THE ENGINEER TO ANY CONFLICTS BEFORE BEGINNING WORK.
6. (E) OR 'EXIST' INDICATES EXISTING CONDITION, DIMENSION OR DATUM. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON PROJECT PRIOR TO COMMENCEMENT OF WORK.
7. TYPICAL WALL SECTIONS, FINISHES, AND DETAILS ARE NOT INDICATED EVERYWHERE THEY OCCUR ON PLANS, ELEVATIONS, AND SECTIONS. REFER TO DETAILED DRAWINGS. CONTRACTOR TO PROVIDE AS IF DRAWN IN FULL.
8. DETAILED AND/OR LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER GENERAL AND SMALLER SCALE DRAWINGS.
9. UNLESS OTHERWISE NOTED, ALL ANGLES TO BE RIGHT ANGLES. ALL LINES WHICH APPEAR PARALLEL ARE TO BE PARALLEL, AND ALL ITEMS WHICH APPEAR CENTERED ARE TO BE CENTERED. CONTRACTOR TO BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE, LEVEL, PLUMBS AND SQUARE.
10. NOTHING IN THE DRAWINGS SHALL BE CONSTRUED TO PERMIT AN INSTALLATION IN VIOLATION OF APPLICABLE CODES. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES, REGULATIONS, RESTRICTIONS, REQUIREMENTS, AND CODES OF THE GOVERNING JURISDICTIONS.
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 architecture planning interior design

**100% Submission**

6250  
  
 REGISTERED ARCHITECT  
 Alex E. Rolluda  
 STATE OF WASHINGTON

 **Seattle Parks & Recreation**

HING HAY PARK

**COMFORT STATION RENOVATION**

**DETAILS**

DESIGNED SN	DATE 04/10/2020
DRAWN SN/AS	
CHECKED AR	SHEET 22 OF 22
ORDINANCE NO. 124927	<b>E-301</b>
SPECIFICATION NO. 2034	
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