#### **INVITATION FOR BIDS**

#### **CONSTRUCTION**

for

**Hing Hay Park Comfort Station** 

2025 Jan 17

Seattle Chinatown International District
Preservation and Development Authority
409 Maynard Avenue South,
Suite P2
Seattle, WA 98104

#### Seattle Chinatown International District Preservation and Development Authority (SCIDpda)

#### **Invitation for Bids**

for

#### **Construction Contract**

for

#### Hing Hay Park Comfort Station (Phase I)

#### 1. Introduction to RFQ

Submittals will be received at the Seattle Chinatown International District Preservation and Development Authority ("SCIDpda"), 409 Maynard Avenue South, Seattle, Washington 98104, until 2:00 PM local time on February 5, 2025 for:

Providing construction services for core/shell for a City of Seattle owned and operated "comfort station" at the Bush Hotel, a landmarked building, King County Parcel No. 1275150000, which is directly north of and adjacent for Hing Hay Park. The properties are more fully described and depicted in Exhibit A.

SCIDpda is requesting bids and statements of qualifications from construction firms for a build out of the core and/or shell of the Hing Hay Park Comfort Station in the City of Seattle.

The response to this solicitation should therefore describe the specific type of experience, identify the composition of the construction team, and include resumes of all key personnel who will be assigned to the project. The response must also describe the scope of services to be provided, team organization, and management plan.

The submission should be limited to responding to the above and as further described later in this solicitation. The Project Team's intent is to issue this RFQ, review all submitted information, short list for interview, and then make a final selection.

Firms may be asked to submit supplemental information during the review of submittals or at the interview. The proposed schedule in 2025 for design team selection is as follows:

1.	January 17	Public Issuance of RFQ
2.	January 30	Mandatory site walkthrough for all interested firms at 10:00 AM PST
3.	February 5	Submittals due to SCIDpda by 2:00 PM PST (1 electronic, 3 hard copies)
4.	February 10	Notice of Short-Listed Firms
5.	February 12-19	Interviews with Firms
6.	February 21	Select Firm and Negotiate contract

The remaining sections of this solicitation are organized as follows:

- Part 2 presents an overview of the project.
- Part 3 describes the required tasks of this effort.
- Part 4 describes the criteria for selecting the consultant who will perform these services.
- Part 5 delineates other conditions and requirements of this solicitation.
- Part 6 specifies the instructions for submittals.

Please read the entire RFQ carefully prior to preparing the submittal.

#### 2. Overview of the Hing Hay Park Comfort Station (Phase I)

#### **General Description**

SCIDpda is seeking bids for construction of PHASE 1 of the Hing Hay Park Comfort Station. The Construction Project will take place within the real property owned by SCIDpda and known as the Bush Hotel, a landmarked building, King County Parcel No. 1275150000, which is directly north of and adjacent for Hing Hay Park. The City owns the real property known as Hing Hay Park, King County Parcel No. 5247901945, located in Seattle's Historic International District. PHASE 1 shall consist of construction of the core and/or shell of the City Facilities.

#### **Design Documents**

Comfort Station Renovation Plans are available in Exhibit A.

#### Anticipated Project Schedule

Contractor selection and contract negotiation Q1 2025
Construction begins Q2 2025
Project completion Q2 or Q3 2025

#### 3. Required Work Tasks

#### Construction

PHASE 1 shall be managed by SCIDpda as the lead and performed by the contractor. The contractor's work in PHASE 1 shall consist of construction of the core and/or shelll of the City's Facilities to include:

- a) Complete a survey of the future City Facilities spaces of the areas depicted in Exhibit B, the "City Facilities" that meets the standard for condominium units per RCW 64.34.232.
- b) Complete separately connected and metered utility connections including but not limited to plumbing, power, gas, data, fire sprinklers per design;
- c) Disconnection of non-shared utilities including plumbing, power, gas, data, fire sprinklers and removal of miscellaneous conduit and duct lines per design;
- d) Contract a qualified professional to assess the City Facilities for hazardous materials. A licensed contractor shall abate any identified materials that exceed permissible levels, in compliance with applicable laws, before start of demolition work.
- e) Rough finish of concrete floor slab with required power conduits, floor and plumbing drain connections to the main per design, with floor elevation and slopes compliant with ADA per design, ready to receive design flooring materials;
- f) Fire rated construction of tenant's demising walls per design, to extend from floor slab to structure above sealed with a fire rated sealant; sound insulation in tenant's demising walls, per design, to STC 45 or higher; wall stud spacing of 16" max; in-wall solid blocking where required for all wall mounted fixtures; in-wall plumbing lines with supply lines and drains at required locations; separate meter for in-wall electrical and data conduit lines with electrical boxes for junction boxes, outlets, switches; gypsum wall board, Type X, or moisture resistant (green board), 5/8" thick, unless otherwise noted in design, with smooth surface, mud and taped joints, ready to receive final texture and paint;
- g) Rough connections at ceiling, or structure above for internal plumbing, HVAC ducting, electrical and data connections and outlets.
- h) Secure Landmarks approval as applicable for exterior modifications per design and modify exterior to include lighting, door and window assemblies with hardware, finish and paint to match existing.

#### 4. Criteria for Selection

In order to qualify for consideration for an interview, the respondent **must meet** the following requirements. Failure to meet all the requirements is just cause for rejection of the response by the Project Team.

The Respondent shall specifically address, in order, each of the following requirements in the response to this RFQ:

**Criterion #1:** The respondent must have provided construction for a similar project(s) within the past five (5) years. The submittal must identify the specific project(s) which qualify under this criterion.

**Criterion #2:** The respondent identifies and has on staff a Project Lead, a Project Manager, Project Superintendent and Lead estimator who have experience in similar projects. The submittal must include resumes for all key team members and identify their availability during the project schedule as described.

**Criterion #3:** The respondent demonstrates the ability of the team to absorb the anticipated workload during the anticipated time period for this construction effort and to provide sufficient qualified staff commensurate with the proposed schedule at all times.

**Criterion #4:** The respondent provides an example of the firm's experience with similar projects and WMBE participation on the project. It is imperative that the respondent demonstrate a strong commitment to and history of supporting WMBE and working with communities/organizations of color.

**Criterion #5:** The respondent provides a proposed scope of services which describes all work tasks and explains how the team will complete each task or work element.

**Criterion #6:** The respondent provides at least 3 references for similar projects.

**Criterion #7:** The respondent provide the following General Contractor documents:

- Current Washington State General Contractors License
- Proof of General Liability Insurance
- Current bonding capacity
- Disclosure of any claims, lawsuits or formal disputes over work or services in the past five (5) years exceeding \$50,000

**Criterion #8:** The respondent proposes a fixed fee for construction services as described above. SCIDpda and project funders will require Washington State Prevailing residential wages are paid on the project.

#### 5. Other Conditions & Requirements

- a) All submittals for this RFQ received by the Project Team shall remain valid for ninety (90) days from the date of submittal.
- b) The Project Team reserves the right to reject any or all submittals if none of the submissions are responsive to its needs.
- c) The Project Team is not liable for any cost incurred by the submitter prior to execution of the contract.
- d) Compensation for services by the selected contractor for this construction services will be negotiated with said contractor.
- e) The contract between the successful submitter and the Project Team shall include all documents mutually entered into, specifically including the contract instrument and the response to the RFQ. The contract must include, and be consistent with, the specifications and provisions stated in the RFQ.
- f) The Project Team prioritizes minority- and women-owned firms and community-based organizations to submit proposals. Women-owned firms shall be at least 51 percent owned and controlled by women, and minority-owned firms at least 51 percent owned and controlled by minority persons. Minority person shall mean any ethnic minority person who is a resident of the United States or its territories, including Asians/Pacific Islanders, persons of African descent, Hispanics, and Native Americans/Alaskan Natives. Minority- and women-owned firms shall be certified with the Washington State Office of Minority and Women's Business Enterprises.
- g) SCIDpda and project funders will require Washington State Prevailing residential wages are paid on the project.

#### 6. Required Submittal Instructions

- On the cover sheet of the response, the respondent shall list the following information of the prime consultant: firm name, address, phone number, email address, and name of contact person. The title of the submittal shall be: Hing Hay Park Comfort Station: Proposal and Statement of Qualifications
- 2. One (1) electronic and three (3) hard copies of the information to be submitted shall be prepared in accordance with, and in the order of, the format guidelines below. Failure to comply is just cause for rejection of the response by the Project Team.
- 3. The order of information presentations must be as follows:
- 4. <u>Section 1: Response to RFQ Criteria</u>. Specific responses to each of the eight criteria described in Part 4 of this solicitation. Submitters may include suggestions for additional tasks, innovative ideas, or alternative procedures for completing this project.
- 5. <u>Section 2: Supplemental Relevant Project Descriptions.</u> As a supplement, expand on the previously identified projects in the Criteria for Selection section. Please include a list of references for similar other projects performed by the design team.
- **6.** Hard copy submittals are due at SCIDpda's Main Office, 409 Maynard Avenue South, Suite P2, Seattle, Washington 98104, by no later than 2:00 PM local time on February 5, 2025.
- 7. Any questions about this solicitation must be submitted in writing on the attached form to SCIDpda via email, addressed to An Huynh, Director of Community Development, at AnH@scidpda.org. Deadline for receipt of questions is 2:00 PM, local time on January 31, 2025.
- 8. The Project Team's response to the questions posed above will be emailed to all requesters of the RFQ by 5 PM local time on February 3, 2025.
- 9. The Project Team may cancel this RFQ at any time for any reason.
- 10. Submittals are limited to ten (10) double-sided pages for a total of twenty (20) pages.

#### SHEET FOR INVITATION TO BID CLARIFICATION QUESTIONS

#### Construction Contract Hing Hay Park Comfort Station

Date:_		No. of Pages (including cover)
TO:	An Huynh Director of Cmmty Dev. SCIDpda Direct Line: 206-838-8715 Email: AnH@scidpda.org	From:

Please print or type your questions here and email



# VICINITY MAP CITY OF SEATILE — NOT TO SCALE Methodolita Park Apartments Park Apartment

# Hing Hay Park Comfort Station Renovation

SPRINKLER SYSTEM: YES

PW # 2019-086 Specification #2034 Project # PRK732453-03

Funding Source: Seattle Parks District

Owner

City of Seattle

Department of Finance & Administrative Services,

City Purchasing & Contracting Services

#### **Administering Department:**

City of Seattle Dept. of Parks and Recreation, Planning & Development Division

300 Elliot Avenue West,

Suite 100, Seattle, WA 98119 Project Manager: Kent Scott 206-386-4388

#### **ARCHITECT:**

Rolluda Architects
105 South Main Street, Suite 323 - Seattle, WA 98104

SCALE NOT TO SCALE

#### CITY OF SEATTLE - NOT TO SCALE Primary Contact: Susan Neaton 206-624-4222 STANDARD ABBREVIATIONS **ARCHITECTURAL ABBREVIATIONS PROJECT NOTES** SHEET INDEX APPROVED FOR ADVERTISING: Liz Alzeer AVERAGE BUILDING ELEVATION Abandon(ed) STANDARDS AND REGULATIONS: G-001 **COVER PAGE** Purchasing & Contracting Services Division Gallons Per Minute AIR CONDITIONER MEZZANINE G-002 **GENERAL NOTES** Americans with Disabilities Act MANUFACTURING AMERICANS WITH DISABILITIES ACT Galvanize/Galvanized CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE Railroad G-003 STAGING PLAN ADJUSTABLE, ADJACENT, ADJOINING BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS, AND Galvanized Iron Pipe MANHOLE Aluminum Galvanized Steel Pip AD101 **DEMOLITION PLAN** Reconn CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. Reconnec MINIMUM A-101 SITE PLAN Red CONTRACTOR SHALL WEEKLY UPDATE THE ENGINEER REGARDING THE STATUS OF Gas Regulator ABOVE FINISH FLOOR MISCELLANEOUS Approximate Refer/Reference AFG A-102 OVERALL FLOOR PLAN Reinforcing/Reinforcement Asphalt Bike Way MOISTURE RESISTANT ALUM CONTRACTOR SHALL BE FAMILIAR WITH REQUIREMENTS AND CONSTRUCTION SHALL BE A-103 ENLARGED FLOOR PLAN RCP Reinforced Concrete Pipe Asphalt Treated Base Ground ANOD **ANODIZED** REFLECTED CEILING PLAN Automatic Control Valve **APPROXIMATI** Remove **ALTERNATE BUILDING ELEVATIONS** A-201 Remove and Replace AUTOMATIC SPRINKLER RISEF A-301 SCHEDULES High Pressure Gas NOT TO SCALE 1) CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, AND High Pressure Sodiun Required A-401 INTERIOR ELEVATIONS BOTTOM OF FINISH FLOOR SEQUENCES OF CONSTRUCTION AND DIMENSIONS OVERHEAD 2) CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF DOOR TYPES, MOUNTING HEIGHTS Hose Bib Right BLDG BUILDING OPPOSITE CONSTRUCTION PERSONNEL, AUTHORIZED VISITORS AT THE SITE, AND ALL SITE A-901 **DETAILS** Right of Way Bottom Face Hose Connection BLKHD BULKHEAD OVER RGS 3) CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH CONDITIONS RELATED TO THE Hse House Rigid Galvanized Steel PERPENDICULAR BOTTOM OF A-902 DETAILS RS WORK. ANY KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND THE ACTUAL Hydrant Blkhd Bulkhead BTW BETWEEN PLATE A-903 **DETAILS** Rdwy RD CONDITIONS SHALL BE REPORTED TO THE ENGINEER FOR RESOLUTION PRIOR TO Roadway Butterfly Valve CIP CAST IN PLACE P-LAM PLASTIC LAMINATE Inch/Inches PROCEEDING WITH WORK AS DETERMINED AND DIRECTED BY THE ENGINEER TO THE CONTROL JOINT, CONSTR JOINT A-904 **DETAILS** PLUMB PLUMBING DISCREPANCY. CONSTRUCTION BASE PRICE SHALL REFLECT MOST EXPENSIVE OPTION, CENTER LINE PNL Inside Diameter Caliper CMU CONCRETE MASONRY UNIT PROJ PROJECT 4) CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND Seattle City Light MP001 NOTES, SCHEDULES Cast Iron Pipe Invert Elevation DEMOLITION DEBRIS. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER FOR DETAILS COL COLUMN PRESSURE REDUCING VALVE Seattle Engineering Dept Invert (Line) Catch Basin CONC CONCRETE MP101 RELATING TO THE REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF PLAN PAINTED Iron Pipe Seattle Water Department TRAVEL. USE OF STAIRS AND ELEVATORS. REMOVAL OF WINDOWS. LOCATION OF Center Line CONT CONTINUOUS MP301 **DETAILS** Subgrade Irrigation Center to Center CHUTES AND DUMPSTERS, ETC., PRIOR TO REMOVAL OF DEBRIS. CONTRACTOR CONSTR CONSTRUCTION RADIUS Irrigation Controller Service Drain SHALL CLEAN AND REPAIR ANY DAMAGES TO EXISTING ITEMS SOILED OR DAMAGED Chain Link Fence CONTR CONTRACTOR ROOF DRAIN Sht SS SSS **Irrigation** BY THE DEBRIS REMOVAL PROCESS. IF CLEANING AND/OR REPAIR DOES NOT Sheet Chamber CARPET RECEIVED **SCHEDULES** rolluda architects E-001 RETURN ITEMS TO ORIGINAL CONDITION CONTRACTOR SHALL INSTALL NEW ITEMS AS Irrigation Head Side Sewer - Combined CERAMIC TILE REFRIGERATOR, REFERENCE DIRECTED & APPROVED BY ENGINEER. E-101 PLANS Side Sewer — Sanitary RFINE DEEP, DEPTH REINFORCED 5) CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH SCIDpda AND SPR **DETAILS** Clearance E-301 REQ'D REQUIRED architecture planning interior design DRINKING FOUNTAIN PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING. Junction Box Spaces Concrete DIMENSION RUBBER FLOORING 6) EACH INSTALLER SHALL EXAMINE ALL SUBSTRATE CONDITIONS AND/OR SITE Specification(s Concrete Bike Way DOWNSPOUT RAIN LEADER CONDITIONS WHICH AFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. Kilovolt Sprinkler Head Concrete Culvert ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY DRAWING ROUGH OPENING Sq Std OF THE INSTALLATION, THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. Concrete Walk Large Inlet Top RIGHT OF WAY CATCH BASIN Standard INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE Cond Condition ELEV CAST IRON RESTROOM Steel CORRECTED. INSTALLATION SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS. 100% Submission Conduit Light Pole ELEC SOLID CORE CAST IN PLACE 7) CONTRACTOR SHALL MAINTAIN APPROVED CONSTRUCTION DRAWINGS ON THE SITE AT Steel Pipe Connect Lineal Feet EXPANSION JOIN SCHEDULE ALL TIMES. CONTRACTOR SHALL MAINTAIN AND UPDATE AS-BUILT DRAWINGS DAILY. Corrugated Metal Pipe SQUARE FOO Location/Locate EQ 8) CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF Street Designation Sign Continuous Manhole EXIS **EXISTING** ALL SUBCONTRACTORS. Street Light Handhole SHEET Manual Control Valve EXP EXPANSION 9) CONTRACTOR SHALL LAY OUT ALL WORK AS SOON AS POSSIBLE. ANY Street Name Sign Cubic Feet DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER FOR RESOLUTION PRIOR TO Manual Drain Valve EXTERIOR Structural/Structure Cu Yd Cubic Yard PROCEEDING WITH THE WORK IN QUESTION FURNISH BY CONTR, INSTALL BY CONTR SPECIFICATION Maximum SPEC PROJECT INFORMATION Survey Line FLOOR DRAIN Culvert 10) THE BUILDING IS AN OCCUPIED AND ACTIVE STRUCTURE. ALL WORK MUST BE Mechanical Joint Curb and Gutter COORDINATED AND APPROVED BY THE PARK ENGINEER TO MINIMIZE IMPACTS TO THE FDN FOUNDATION STAINLESS STEEL, SIDE SEWER Mercury Vapor Light Curb Radius FIRE EXTINGUISHER Miniumum STD STANDARD Telephone 11) INTERRUPTIONS TO BUILDING UTILITIES MUST BE SCHEDULED IN ADVANCE WITH A PROPERTY NAME: FIRE EXTINGUISHER CABINET FEC Miscellaneous STEEL Telephone Cable MINIMUM 72 HOUR WRITTEN NOTICE TO ENGINEER Department FLOOR FINISH, FACTORY FINISH STRUCTURE, STRUCTURAL Monument Line STRUCT Telephone Conduit Diameter FURNISH BY OWNER, INSTALL BY CONTR SUSP Not In Contract SUSPENDED PROJECT ADDRESS: Top of Curb Direct Burial Cable Not To Scale FURNISH BY OWNER, INSTALL BY OWNER SYSTEM FOIO Telephone Handhole District Gate Valve USE OF CONSTRUCTION DOCUMENTS: 409 MAYNARD AVENUE SOUTH SEATTLE, WA 98104 Number TEMPERED, TREAD, TOP FROST PROOF DRINKING FOUNTAIN TVCb Television Cable FPDF DCV Double Check Valve TOP AND BOTTOM LEGAL DESCRIPTION: TVHH FROST PROOF HOSE BIB 1) DO NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE Television Handhole Driveway On Center TELEPHONE USED. CONTACT THE ENGINEER IF CLARIFICATION OR ADDITIONAL INFORMATION IS Temp FIBER REINFORCED PANEL THE BUSH HOTEL, CONDOMINIUM (VOL.68 PAGES 14-22) LOTS 7 & 8, BLOCK 41, Temporary Ductile Iron Pipe Outside Diameter TEMP TEMPERED FTG TOWN OF SEATTLE AS LAID OUT BY D.S. MAYNARD, COMMONLY KNOWN AS D.S. Seattle Parks & Recreation Testhole TONGUE AND GROOVE 2) THE DRAWINGS ARE SCHEMATIC IN NATURE. MODIFICATIONS IN DUCTS, PIPING, MAYNARD'S PLAT OF SEATTLE, ACCORDING TO PLAT RECORDED IN VOLUME 1 OF PLATS, Top Face GAUGE Pavement CONDUIT AND WIRING MAY BE REQUIRED TO ACCOMMODATE ACTUAL FIELD TOP OF PAGE 23, IN KING COUNTRY, WASHINGTON± EXCEPT THE NORTH 15 FEET THEREOF Easement GALV **GALVANIZED** Pedestrian Push Button TYPICAL CONDEMNED IN KING COUNTRY SUPERIOR COURT CAUSE NO. 56407, FOR THE WIDENING Traffic Cable GENERAL CONTRACTOR ccentri Perforated Drain Pipe ) DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. OF JACKSON STREET AS PROVIDED BY ORDINANCE NO. 1291 OF THE CITY OF SEATTLE $\pm$ TrCd GLP UNLESS NOTED OTHERWISE Traffic Conduit GYPSUM LATH & PLASTER Electric/Electrical PS Pipe Sewer Combined 4) DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE: TOGETHER WITH THE VACATED ALLEY ADJOINING SAID PREMISES ON THE WEST. **TCHH** Traffic Handhole GWB GYPSUM WALL BOARD UTIL UTILITY Electric Cable PSS PSD Pipe Sewer Sanitary KING COUNTY PARCEL NUMBER: VINYL COMPOSITION TILE TrSB Traffic Signal Box Traffic Signal Pole ANODIZED Electric Conduit b. TO CENTERLINE OF COLUMNS Pipe Storm Drain VERT VERTICAL Electric Duct HOSE BIBI TO TOP OF FLOOR SLAB. 1275100020 & 1275100010 Pipe Storm Drain Detention d. TO BOTTOM OF FINISHED CEILING. НМ HOLLOW META Electric Manhole Transmission Pole VERIFY IN FIELD HING HAY PARK Plain End e. TO FACE OF MASONRY. HORIZ HORIZONTAL Electric Vault Тур Typical PROJECT INFORMATION HFIGHT Elevation WITHOUT Point of Compound Curvature VCh Valve Chamber Elevation **INSULATED** WALK OFF MAT Point of Curvature **COMFORT STATION DEFINITIONS:** V/Var Variable Inclosure JT JOINT WATERPROOF LAND USE CODE NOTES: DESCRIPTION OF WORK: Point of Intersection Vertical LONG, LENGTH End of Curb WATER RESISTANT Point of Reverse Curve 1) "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH IDM 75'-85' EXISTING USE: MINOR RENOVATIONS TO EXISTING Valve Box LAMINATE, LAMINATED **RENOVATION** WATER RESISTANT BARRIER FACES IN THE SAME PLANE AND/OR TO INSTALL NEW CONSTRUCTION ADJACENT TO Point of Tangency OVERLAY DISTRICT: INTERNATIONAL OFFICE AND STORAGE. NEW Vertical Curve Existina WEIGHT EXISTING CONSTRUCTION WITHOUT ANY VISIBLE JOINTS OR SURFACE IRREGULARITIES. Polyvinyl Chloride RESTROOM. REPLACE DOORS, SPECIAL REVIEW DISTRICT LVL LEVEL WELDED WIRE FABRIC 2) "CLEAR" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT Expansion PAINTING, LIGHTING, CASEWORK, ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT. CLEAR DIMENSIONS ARE LIGHT WEIGHT LW WELDED WIRE MESH Pounds per Square Inch MINOR ELECTRICAL & HVAC. **COVER PAGE** APPLICABLE CODES: Water Meter YPICALLY TO FINISH FACE. MASONRY YARD DRAIN WCR Wheel Chair Ramp Field Light Pole 3) "MAXIMUM" OR "MAX" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE MAXIMUM 2015 SEATTLE EXISTING BUILDING CODE Power Pole with Light With METAL BUILDING SUPPLIER CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR 2015 SEATTLE BUILDING CODE Pressure Reducing Valve QUANTITY GREATER THAN THAT SHOWN APPROVAL OF THE ARCHITECT. Wood Pole Finished Floor 2010 AMERICAN W/ DISABIILITIES ACT (ADA) **DATE** 04/10/2020 Pressure Vacumn Breaker WSP 4) "MINIMUM" OR "MIN" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE DESIGNED SN Wood Stave Pipe Finish Grade ANSI 117.1-2009 CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR DRAWN WASHINGTON STATE WAC 50.51 QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT. SHEET 1 OF 22 CHECKED SN 5) "TYPICAL" OR "TYP" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION OR DIMENSION IS THE SAME OR REPRESENTATIVE FOR SIMILAR BUILDING CONSTRUCTION INFORMATION: CONDITIONS THROUGHOUT. G-001 ORDINANCE NO.124927 BUILDING YEAR: 6) "±" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE DIMENSION OR QUALITY IS SLIGHTLY ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS. FIELD VERIFICATION CONSTRUCTION TYPE: II FR CONTRACT NO. 2034 OCCUPANCY CLASS: AND COORDINATION WITH OTHER ELEMENTS MIGHT BE NECESSARY

#### **GENERAL NOTES**

#### **GENERAL NOTES**

- 1. ALL WORK SHALL CONFORM TO THE 2017 CITY OF SEATTLE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION; THE CITY OF SEATTLE STANDARD PLANS, 2017 FDITION AND SEATTLE TRANSPORTATION (SDOT), DIRECTOR'S RULE 05-2009 FOR STREET AND SIDEWALK PAVEMENT OPENING AND RESTORATION. A COPY OF THESE DOCUMENTS SHALL BE ON SITE DURING CONSTRUCTION.
- 2. A COPY OF THE APPROVED PLAN MUST BE ON SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- 3. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR WORK WITHIN THE PUBLIC RIGHT OF WAY.
- 4. PRIOR TO ANY CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE PARK ENGINEER. THE CONTRACTOR SHALL NOTIFY THE

OWNER'S PROFESSIONAL ENGINEERING CONSULTANT OF THE

- PRE-CONSTRUCTION MEETING TIME AND LOCATION. 5. PAVED SURFACES INCLUDING ROADWAYS, SIDEWALKS, AND CURBS THAT ARE DAMAGED BY CONSTRUCTION SHALL BE REPAIRED AS REQUIRED BY THE SDOT STREET USE INSPECTOR OR PARK ENGINEER.
- 6. DATUM: HORIZONTAL: WANZ NAD 83/91, VERTICAL: NAVD-88 AS ESTABLISHED BY THE SITE SURVEY. TOPOGRAPHIC SURVEY IS BY
- DEPT OF PARKS LAND SURVEYORS. 7. ALL SURVEYING AND STAKING OF IMPROVEMENTS IN THE PUBLIC RIGHT OF WAY IS TO BE PROVIDED BY THE CITY OF SEATTLE AT
- OWNER'S EXPENSE. 8. THE CONTRACTOR SHALL NOTIFY THE SEATTLE FIRE DEPARTMENT DISPATCHER (386-1495) TWENTY-FOUR (24) HOURS IN ADVANCE OF ALL WATER SERVICE INTERRUPTIONS, HYDRANT SHUTOFFS, AND STREET CLOSURES OR OTHER ACCESS BLOCKAGE. THE CONTRACTOR SHALL ALSO NOTIFY THE DISPATCHER OF ALL NEW,
- LOCATED, OR ELIMINATED HYDRANTS RESULTING FROM THIS WORK. 9. ALL LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF
- 10. THE CONTRACTOR SHALL LOCATE AND PROTECT ALL CASTINGS AND UTILITIES DURING CONSTRUCTION AND SHALL CONTACT THE UNDERGROUND UTILITIES LOCATOR SERVICE (1-800-424-5555) AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. 11. THE CONTRACTOR SHALL ADJUST ALL EXISTING MANHOLE RIMS, DRAINAGE STRUCTURE LIDS, VALVE BOXES, AND UTILITY ACCESS
- STRUCTURES TO FINISH GRADE WITHIN AREAS AFFECTED BY THE PROPOSED IMPROVEMENTS. 12. UTILITY SERVICE CONNECTIONS SHOWN ON THIS PLAN ARE TO BE
- MAINTAINED BY THE DEPARTMENT OF PARKS. 13. THE CONTRACTOR SHALL PROVIDE FOR ALL COMPACTION TESTS REQUIRED BY THE STREET USE INSPECTOR OR PARKS ENGINEER.
- 14. BACKFILL MATERIAL USED IN PUBLIC RIGHT-OF-WAY SHALL MEET STD SPECS. AND SHALL BE APPROVED BY SDOT OR PARKS FNGINFFR.
- 15. INSPECTION AND ACCEPTANCE OF ALL WORK IN STREET RIGHTS-OF-WAY WILL BE ACCOMPLISHED BY REPRESENTATIVES OF THE CITY OF SEATTLE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND SCHEDULE APPROPRIATE INSPECTIONS, ALLOWING PROPER ADVANCE NOTICE. THE INSPECTOR MAY REQUIRE RECONSTRUCTION OF ITEMS THAT DO NOT MEET CITY STANDARDS OR THAT WERE CONSTRUCTED WITHOUT
- 16. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE TRAFFIC CONTROL MANUAL. A TRAFFIC CONTROL PLAN WILL BE REQUIRED PRIOR TO ISSUANCE OF PERMIT.

- 17. ALL WORK PERFORMED BY SEATTLE CITY LIGHT. SEATTLE WATER. AND OTHER PUBLIC UTILITIES TO REMOVE OR RELOCATE EXISTING UTILITIES SHALL BE DONE AT THE PERMITTEE'S EXPENSE. 18. CARE SHALL BE EXERCISED WHEN EXCAVATING NEAR EXISTING
- 19. CONTRACTOR SHALL NOTIFY KING COUNTY TRANSIT AT (206) 684-2732 SEVEN DAYS IN ADVANCE OF ANY IMPACT TO TRANSIT OPFRATIONS.
- 20. CONTRACTOR SHALL CONTACT SDOT LANDSCAPE ARCHITECTS OFFICE AT 684-8733 FOR APPROVAL OF STREET TREE SPECIES SUBSTITUTIONS AND THEN INSPECTION OF TREES TWO DAYS PRIOR

#### **GENERAL SEWER & DRAINAGE NOTES**

CHARGED WATER MAINS.

#### UNLESS OTHERWISE SPECIFIED:

- 1. PIPE LESS THAN 12" DIAMETER SHALL BE PVC OR PER CITY OF SEATTLE STANDARDS. 2. DUCTILE IRON PIPE SHALL BE PER ANSI A21.51 CLASS 50 WITH PUSH-ON JOINTS. FITTINGS FOR DUCTILE IRON PIPE SHALL BE DUCTILE PER ANSI A21.10 OR ANSI A21.53 WITH PUSH-ON JOINTS. GLANDS ON MECHANICAL JOINT PIPE AND FITTINGS SHALL
- 3. PVC PIPE AND FITTINGS SHALL BE PER ASTM D3034, SDR35 WITH RUBBER GASKET JOINTS. PVC PIPE FOR PSS AND PSD SHALL BE TESTED FOR EXCESSIVE DEFLECTION WITH A MANDREL PER
- SECTION 7-17.3(4) OF THE SPECIFICATIONS. SUBSURFACE DRÀIN (SSD) PIPE AND FITTINGS SHALL BE PVC PER ASTM D2241 SDR21 (CLÁSS 200) WITH RUBBER GASKET JOINTS. PIPE SHALL HAVE SLOTTED PERFORATIONS. SLOTS ARE TO BE 0.040" WIDE 1.0" LONG AND SPACED 0.25" APART. SLOT
- LOCATIONS SHALL BE LOCATED PER DETAIL ON PLAN. BEDDING SHALL BE CLASS B FOR ALL PIPE EXCEPT DUCTILE IRON PIPE, WHICH SHALL BE CLASS D. BEDDING MATERIAL FOR PVC PIPE AND CMP SHALL BE MINERAL AGGREGATE TYPE 22. BEDDING MATERIAL FOR PVC PIPE AND CMP SHALL BE MECHANICALLY COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS MEASURED BY
- TEES ON NEW PIPE LESS THAN 24" DIAMETER SHALL BE PREFABRICATED. TEES ON EXISTING PIPE OR ON NEW PIPE WITHOUT PREFABRICATED TEES SHALL BE CONNECTED BY CORE
- DRILLING AND FLEXIBLE CONNECTION. SEE SPECIFICATIONS. TEES, CATCH BASIN CONNECTIONS, SIDE SEWERS, AND SERVICE DRAINS SHALL BE PLACED AT A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 50%. INLET CONNECTIONS SHALL BE PLACED
- AT A MINIMUM SLOPE OF 5% AND A MAXIMUM SLOPE OF 50%. 8. RECONNECTION OF EXISTING CATCH BASINS SHALL INCLUDE NEW TRAPS, CONNECTION TO STORM DRAINS, AND REMOVAL OF EXISTING
- 9. SERVICE DRAINS AND SIDE SEWERS SHALL BE CONNECTED OR RECONNECTED AS APPROVED BY THE INSPECTOR OR PARKS ENGINEER.
- 10. RELAY EXISTING SERVICE DRAINS AND SIDE SEWERS TO CLEAR OVER OR UNDER THE NEW UTILITY AS APPROVED BY THE PARKS ENGINEER. 11. WHERE A NEW PIPE CLEARS AN EXISTING OR NEW UTILITY BY 6"

OR LESS, POLYETHYLENE PLASTIC FOAM SHALL BE PLACED AS A

#### CUSHION BETWEEN THE UTILITIES. GENERAL SURVEY NOTES

1. NO WARRANTY OR GUARANTEE OF ACCURACY OR COMPLETENESS IS EITHER IMPLIED OR EXPRESSED FOR EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS SHOWN ON THESE CONSTRUCTION DOCUMENTS. THEY ARE PROVIDED HEREIN FOR THE PURPOSE OF ASSISTING THE CONTRACTOR IN LOCATING SAID UTILITIES AND IMPROVEMENTS IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING WITH APPROPRIATE AGENCIES THAT

MAY HAVE UNDERGROUND UTILITIES AND IMPROVEMENTS WITHIN THE PROJECT LIMITS AND FOR CHECKING LOCATIONS IN THE FIELD. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE TO UNDERGROUND UTILITIES AND IMPROVEMENTS RESULTING FROM HIS OPERATION.

#### GENERAL WATER SERVICES NOTES

ADJACENT PROPERTIES.

- 1. DOMESTIC WATER SERVICE LINES SHALL BE INSTALLED WITH A MINIMUM OF 24" OF COVER.
- ALL WATER SERVICE PIPING ON PROPERTY MUST BE INSPECTED PRIOR TO BACKFILLING TRENCH. 3. FOR INFORMATION AND INSPECTION, PHONE WATER SERVICE AT
- 684-5800. COORDINATE WITH PARKS PLUMBING SHOP. 4. COORDINATE WORK WITH SPU AND PARKS PLUMBING SHOP.

#### GENERAL CONSTRUCTION EROSION / SEDIMENTATION (ESC) NOTES

- 1. CONSTRUCTION EROSION CONTROL MEASURES MUST BE IN PLACE AND APPROVED BY THE PARKS ENGINEER PRIOR TO ANY EARTH DISTURBANCE. CALL 206/684-8860 TO SCHEDULE AN INSPECTION APPOINTMENT FOR THIS TIME.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY SEDIMENTATION COLLECTION FACILITIES TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE NATURAL OR PUBLIC DRAINAGE SYSTEM. AS CONSTRUCTION PROGRESSES AND UNEXPECTED (SEASONAL) CONDITIONS DICTATE. MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL OF THE PROJECT. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES THAT MAY BE NEEDED TO PROTECT
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR JNTIL ALL CONSTRUCTION IS APPROVED.
- 4. IF THE BOUNDARIES OF THE ENVIRONMENTALLY CRITICAL AREA LIMITS ARE SHOWN ON THE PLANS, THEY SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED
- BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE
- WATER STANDARDS 6. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE JPGRADED (E.G. ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES. ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS.

THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE

- CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. 8. ANY AREA STRIPPED OF VEGETATION, INCLUDING ROADWAY EMBANKMENTS, WHERE NO FURTHER WORK IS ANTICIPATED FOR A
- PERIOD OF 15 DAYS, SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G. SEEDING, MULCHING, NETTING, EROSION BLANKETS, ETC.). 9. ANY AREA NEEDING ESC MEASURE, NOT REQUIRING IMMEDIATE
- ATTENTION, SHALL BE ADDRESSED WITHIN FIFTEEN (15) DAYS. 10. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A STORM EVENT.

- 11. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM
- 12. STABILIZED CONSTRUCTION ENTRANCES AND WASH PADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT
- CLEAN FOR THE DURATION OF THE PROJECT. 13. WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN

APPROPRIATE RATE (E.G. ANNUAL OR PERENNIAL RYE APPLIED AT

- APPROXIMATELY 80 POUNDS PER ACRE). 14. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF
- TWO INCHES. 15. PROVIDE PERMANENT EROSION CONTROL SYSTEM. LANDSCAPE ALL EXPOSED EARTH SURFACES WITH SUITABLE VEGETATION TO PREVENT EROSION. (25.09.060C.2)

#### GENERAL EROSION CONTROL CONSTRUCTION SEQUENCE

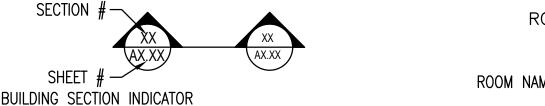
- 1. ARRANGE AND ATTEND PRE-CONSTRUCTION MEETING WITH OWNER OR OWNER'S REP. AND SEATTLE DCI SITE INSPECTOR OR PARKS
- CONTRACTOR'S SURVEYOR TO ESTABLISH AND STAKE OUT CONTROL POINTS FOR WORK. ERECT STRAW WATTLES, SILT FENCE, AND INLET PROTECTION.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE. CLEAR AND GRUB AREA REMOVE EXISTING PAVEMENT, SURFACE FEATURES AND
- MISCELLANEOUS ITEMS AS NOTED. COORDINATE REMOVAL AND CAPPING OF EXISTING UTILITY LINES WITH APPROPRIATE PURVEYOR.
- GRADE SITE PER PLAN. STABILIZE GRADED AREAS WITH TEMPORARY EROSION CONTROL
- MEASURES AS REQUIRED. 10. CONSTRUCT SITE IMPROVEMENTS. . MULCH REMAINING DISTURBED AREAS AND COORDINATE WITH FINAL
- PAVING AND PLANTING. 12. RETURN SILTATION CONTROL AREAS TO ORIGINAL GROUND
- CONDITIONS. 13. REMOVE REMAINING TEMPORARY EROSION/SEDIMENTATION CONTROL ONLY AFTER SITE HAS BEEN STABILIZED AND CITY OF SEATTLE DCI SITE INSPECTOR OR PARKS ENGINEER HAS APPROVED THE REMOVAL.

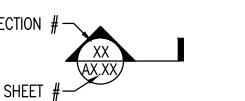
#### GENERAL DEMOLITION NOTES

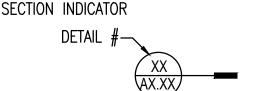
- SALVAGEABLE OR RE-USABLE ITEMS ENCOUNTERED IN THE FIELD BUT NOT IDENTIFIED ON THIS PLAN SHALL BE OFFERED TO THE ENGINEER FOR SALVAGE PRIOR TO DISPOSAL. IF DECLINED BY ENGINEER, ALL DEMOLISHED ITEMS SHALL BE DISPOSED OF
- LEGALLY OFF SITE. PROTECT ALL FACILITIES NOT IDENTIFIED FOR DEMOLITION INCLUDING BUT NOT LIMITED TO: BURIED ELECTRICAL LINES.
- IRRIGATION SYSTEM, STORM SEWER LINES, TELEPHONE LINES, CATCH BASINS, TREES, FENCING, FURNITURE, ETC. 3. KEEP ALL WALKWAYS CLEAR AND FREE OF DEBRIS. VEGETATED
- AND PAVED SURFACES THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AT NO COST TO THE ENGINEER. 4. COORDINATE DEMOLITION OF ELECTRICAL, LIGHTING AND IRRIGATION
- SYSTEM ELEMENTS WITH NEW ELECTRICAL, LIGHTING AND IRRIGATION SYSTEMS PER PLANS AND SPECIFICATIONS
- DEMOLISH ONLY TO EXTENT REQUIRED TO ACCOMMODATE THE WORK OF THE CONTRACT.

#### REFERENCE SYMBOLS

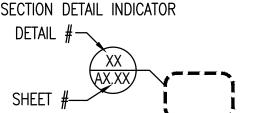
#### SEE INDIVIDUAL SHEET LEGENDS FOR FURTHER SYMBOL DEFINITIONS



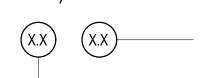




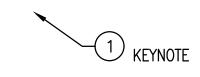
SHEET



#### ENLARGED DETAIL/PLAN INDICATOR



COLUMN GRIDLINE INDICATOR



| W-# | WALL TYPE

FINISH TYPE

 $\langle FIN-\# \rangle$ 

**EQUIPMENT TAG** 

 $\langle \# \rangle$ 

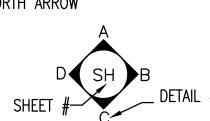
DOOR NUMBER

WINDOW NUMBER

#### ROOM NAME 0000

#### ROOM NAME & NUMBER INDICATOR





INTERIOR ELEVATION INDICATOR



DRAWING REVISION INDICATOR

PLAN DESIGNATIONS

EXISTING WALL/DOOR TO REMAIN (LIGHT LINES)

========

WALL/DOOR TO BE DEMOLISHED (DASHED)

NEW WALL/DOOR

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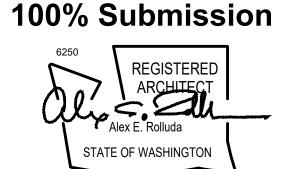
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- CONSTRUCTION. DRAWINGS. THE DRAWINGS ARE INTENDED TO DESCRIBE THE OVERALL SCOPE OF WORK. CONTRACTORS SHALL FIELD VERIFY EXISTING CONDITIONS AND ALERT THE ENGINEER TO ANY CONFLICTS BEFORE BEGINNING WORK
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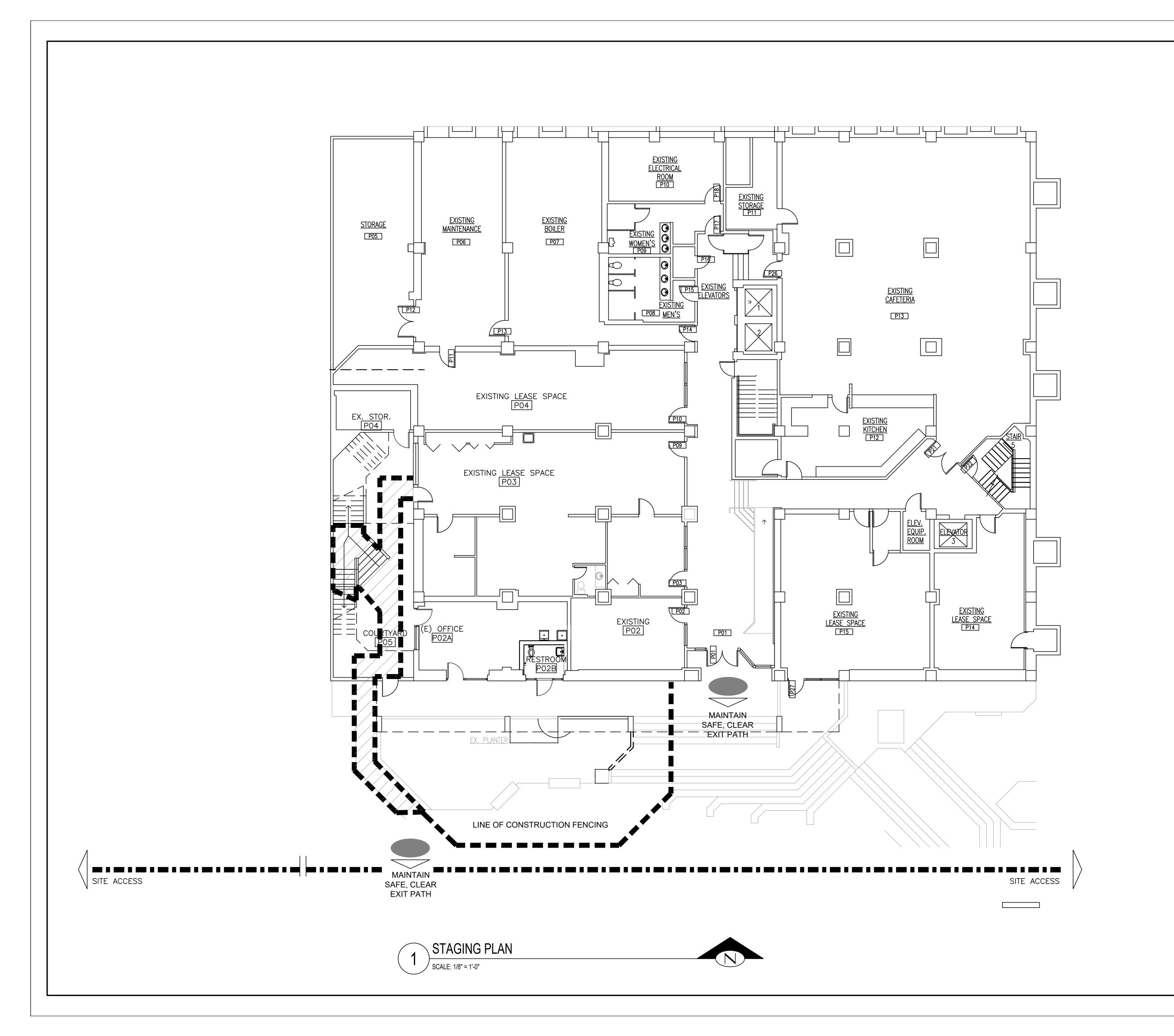
**HING HAY PARK** 

**COMFORT STATION RENOVATION GENERAL NOTES, SYMBOLS** 

**DATE** 04/10/2020 designed SN DRAWN SN/AS
CHECKED AR SHEET **2** OF **22** G-002

DRDINANCE NO. \_ 124927 SPECIFICATION NO. 2034

SCALE NTS



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#### 100% Submission





**HING HAY PARK** 

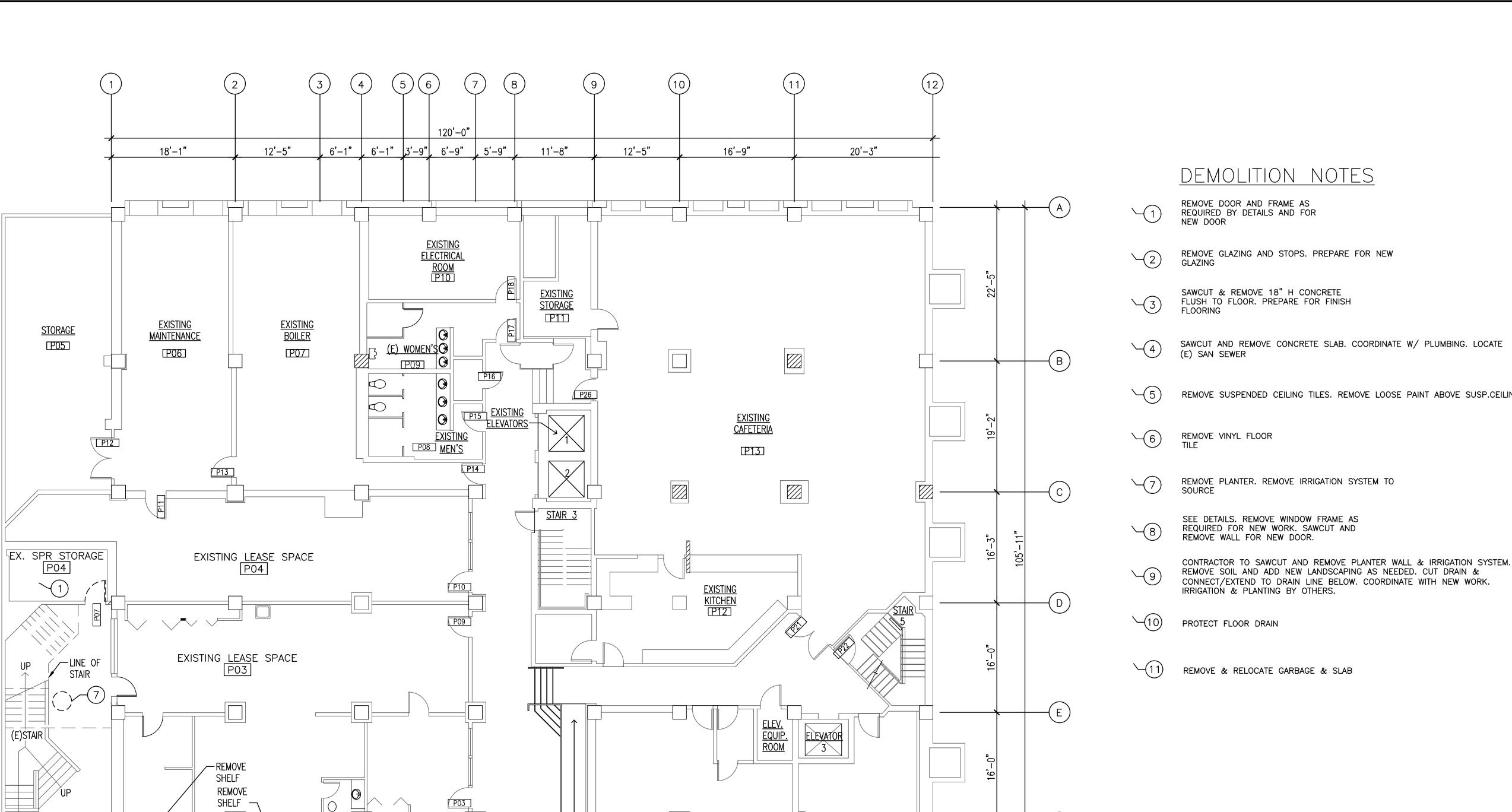
#### **COMFORT STATION RENOVATION**

**STAGING PLAN** 

designed SN	DATE 04/10/2020
drawn <u>SN/AS</u> checked AR	
ordinance no. 124927	G-003

ORDINANCE NO. <u>124927</u> SPECIFICATION NO. 2034 SCALE 1/8" = 1'-0"





& FRAME,

REMOVE (E)
ELECT PANEL

EXIT FOR COURTYARD

EX. PLANTER

FLR ABOVE

EXISTING LEASE SPACE [P14]

LOWER LEVEL DEMO PLAN

REMOVE SUSPENDED CEILING TILES. REMOVE LOOSE PAINT ABOVE SUSP.CEILING

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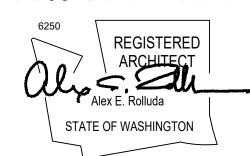
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PARK ENGINEER

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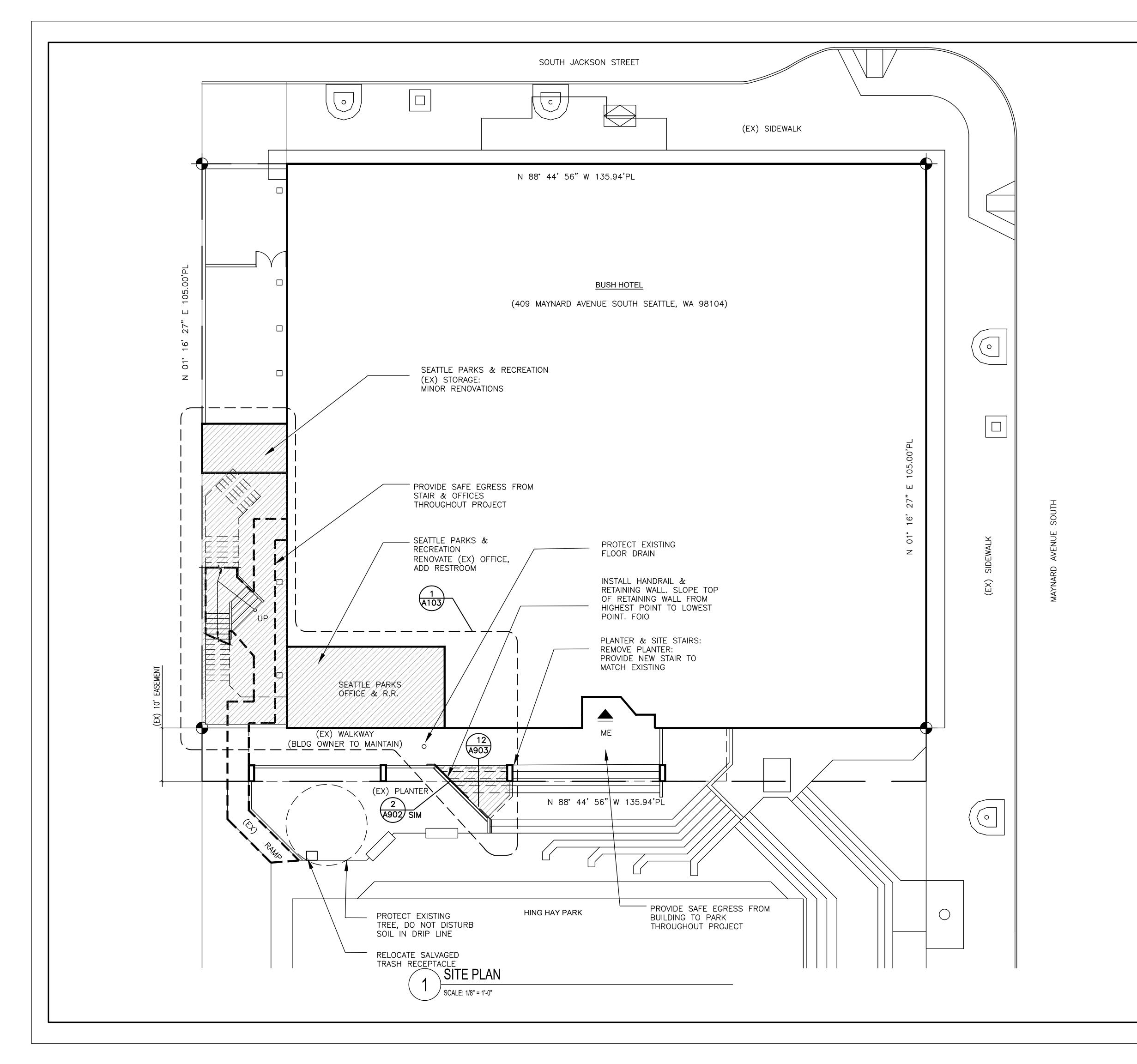
**HING HAY PARK** 

**COMFORT STATION RENOVATION** 

**DEMOLITION PLAN** 

**DATE** 04/10/2020 DESIGNED SN DRAWN SN/AS
CHECKED AR SHEET <u>4</u> OF <u>22</u> ORDINANCE NO. 124927 **AD101** 

SPECIFICATION NO. 2034 SCALE 1/8" = 1'-0"



#### **BUILDING OWNER:**

SCIDPDA 409 MAYNARD AVE S SEATTLE, WA 98104

PROJECT/CONDO OWNER: SEATTLE PARKS RECREATION 800 MAYNARD AVE S SEATTLE, WA 98104



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NO.	REVISION - AS BUILT	DATE

PARK ENGINEER

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#### rolluda architects architecture planning interior design

#### 100% Submission





**HING HAY PARK** 

#### **COMFORT STATION RENOVATION**

SITE PLAN

ORDINANCE NO. 1249	A-101
CHECKED AR	SHEET <u>5</u> of <u>22</u>
DRAWN SN/AS	
designed SN	<b>DATE</b> 04/10/2020

SPECIFICATION NO. 2034

SCALE 1/8" = 1'-0"





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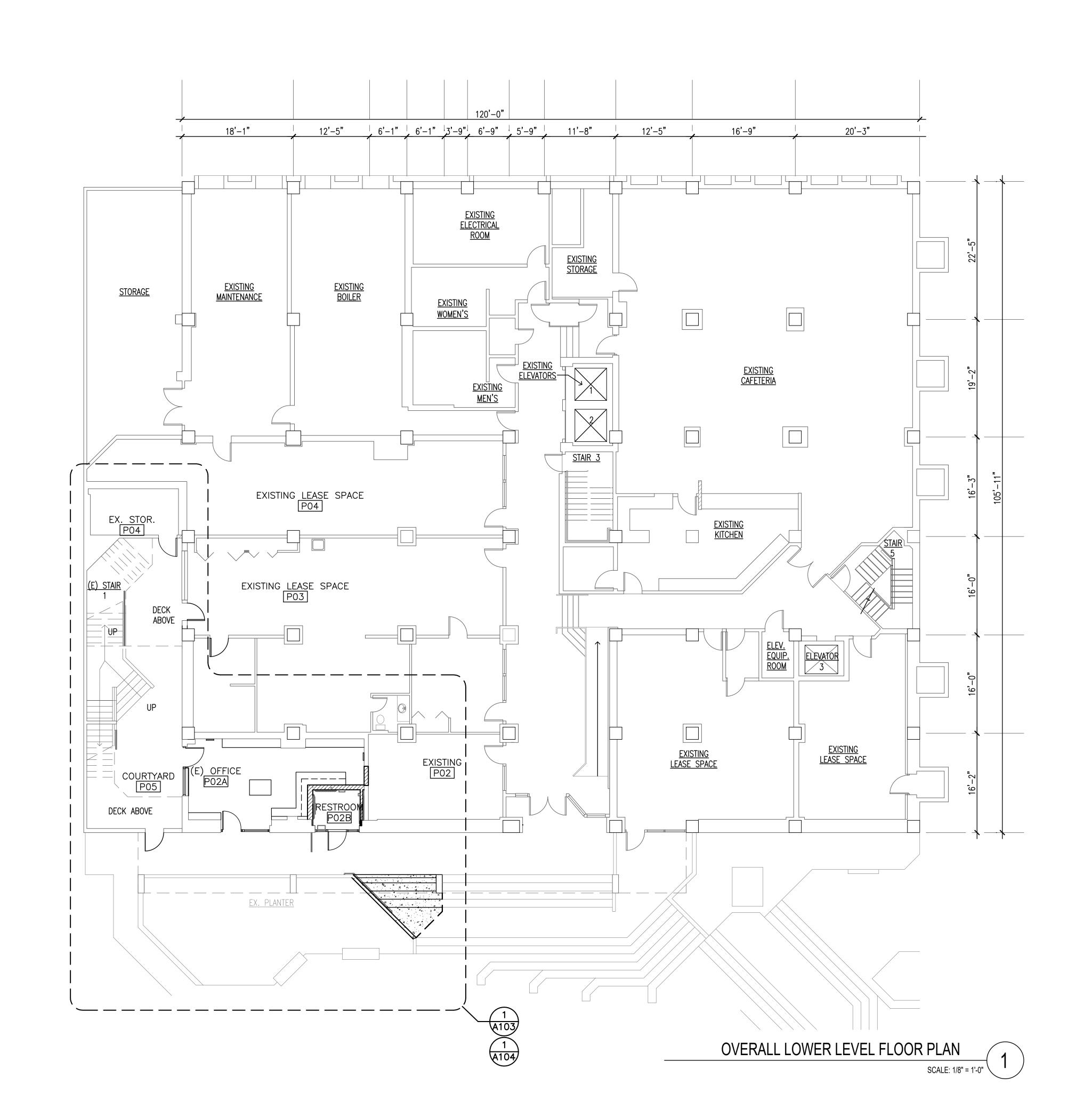
**HING HAY PARK** 

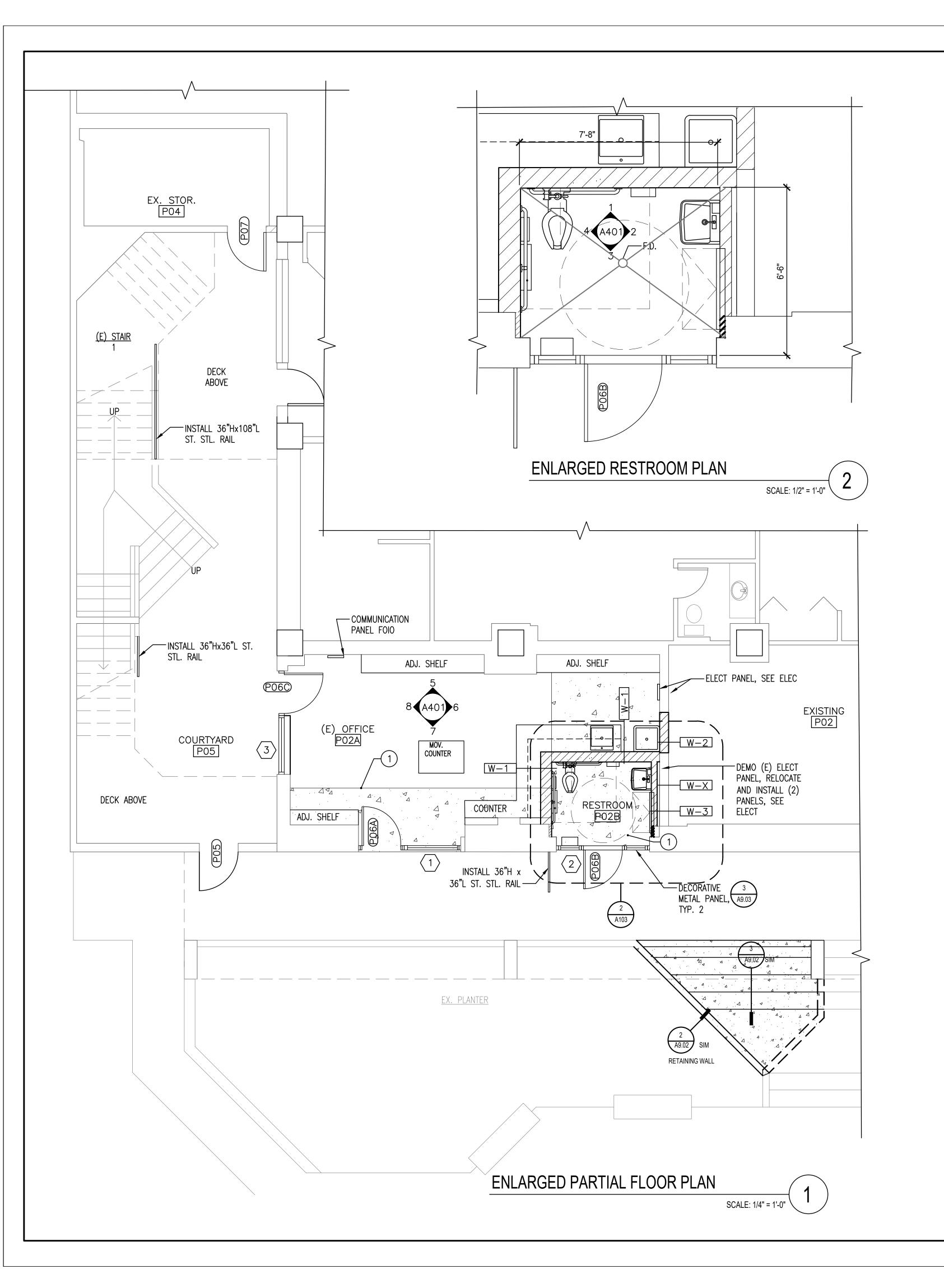
#### **COMFORT STATION RENOVATION LOWER LEVEL** FLOOR PLAN

**DATE** 04/10/2020 DESIGNED SN DRAWN SN/AS
CHECKED AR SHEET <u>6</u> OF <u>22</u>

ordinance no. \_\_124927 A-102

SPECIFICATION NO. 2034 1/8" = 1'-0"SCALE







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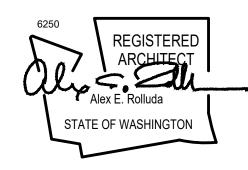
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architecture planning interior design

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**HING HAY PARK** 

#### **COMFORT STATION RENOVATION**

#### **ENLARGED FLOOR PLAN**

ORDINA	NCE NO. 124927	A-103
CHECK	0117710	SHEET _/_ OF22
DRAW	N SN/AS	_
DESIG	NED SN	DATE 04/10/2020

SPECIFICATION NO. 2034

KEY NOTES

EXISTING WALL

V//////// NEW WALL

WALL LEGEND:

PATCH & POUR INFILL CONCRETE FLOOR FLUSH TO EXISTING. COORDINATE W/PLUMBING.

SCALE  $\frac{1/4"}{4"} = 1'-0"$ 



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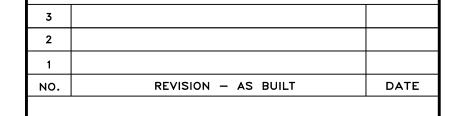
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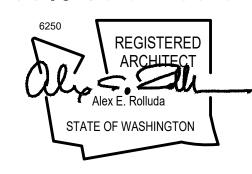
PARK ENGINEER

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#### rolluda architects

architecture planning interior design

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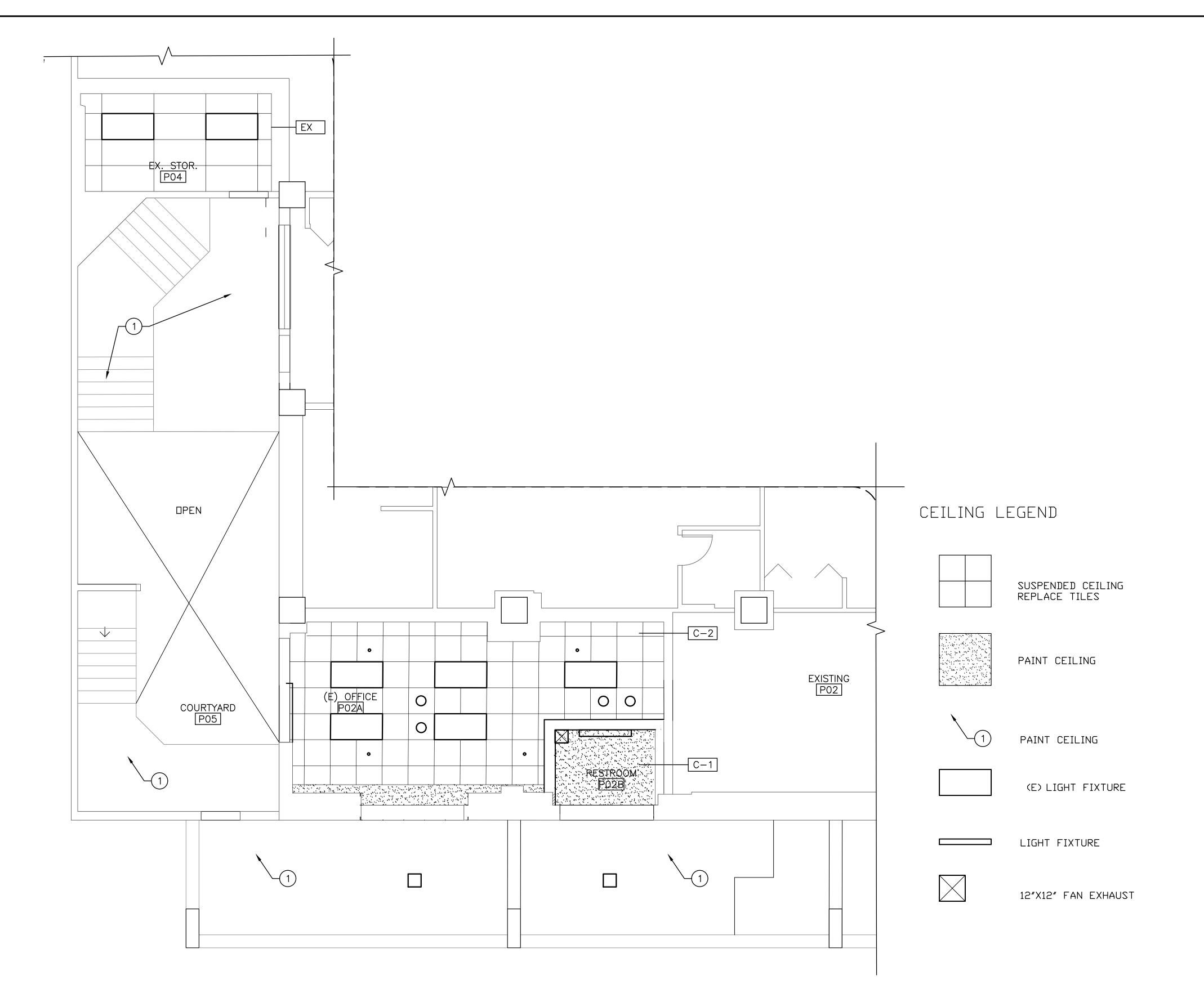
**HING HAY PARK** 

#### **COMFORT STATION RENOVATION ENLARGED REFLECTED CEILING PLAN**

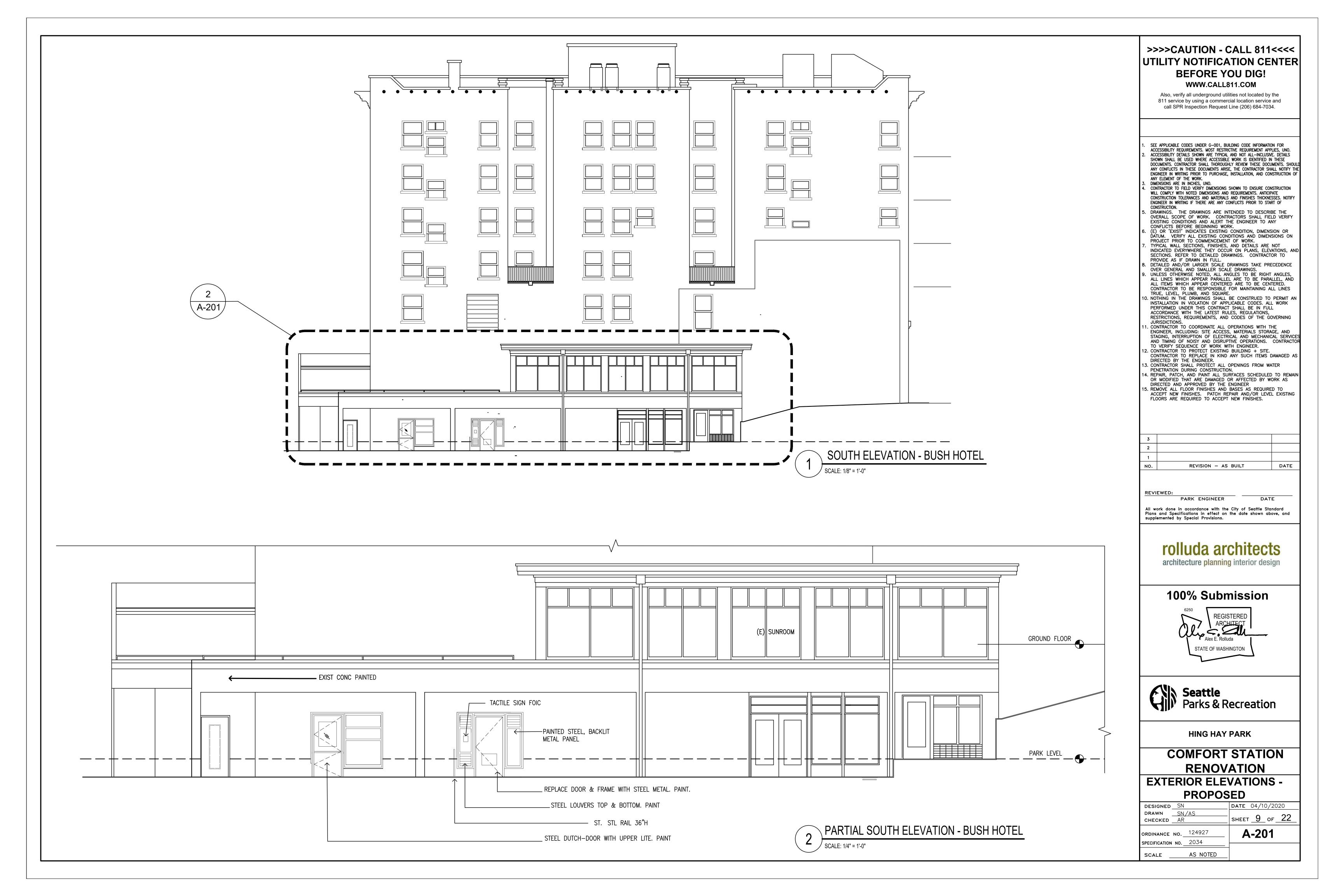
**DATE** 04/10/2020 DESIGNED SN DRAWN SN/AS
CHECKED AR SHEET <u>8</u> OF <u>22</u>

ordinance no. \_\_124927 A-104 SPECIFICATION NO. 2034

SCALE 1/4" = 1'-0"



ENLARGED REFLECTED CEILING PLAN SCALE: 1/4" = 1'- 0"



RC	OM	FLC	OR	BAS	E	WAL	L	CEIL	ING	WAI	NSCOT	NOTE
NO	NAME	MAT	FIN	MAT	FIN	MAT	FIN	MAT	FIN	MAT	FIN	
P02A	OFFICE	CONC	LVT	RB	FF	GWB	P-1	ACT-1	FF			REPLACE ACT IN (E) GRID
P02B	STORAGE	CONC	VCT	RB	FF	GWB	P-1	ACT-2	FF	PLY	PT	REPLACE ACT IN (E) GRID, 2X4 CHAIR R
P04	RESTROOM	CONC	EPOXY	EPOXY	FF	СВ	CT	СВ	P-1			WALLS, CEILING TO BE 1-HR RATED

#### DOOR SCHEDULE

	DOOR						FRAME			NOTE			
NO	TYP	MAT	FIRE	Н	W	FIN	TYP	MAT	FIN				
P06A	Α	НМ		7'-0"	3'-0"	PT	1	НМ	PT	INSUL, CLOSER, KEYED LOCK, LATCH, KICKPLATES			
P06B	С	НМ	60 MIN	7'-0"	3'-0"	PT	2	НМ	PT	INSUL, CLOSER, KEYED LOCK, LATCH, KICKPLATES			
P06C	В	НМ		7'-0"	3'-0"	PT	3	НМ	PT	CLOSER, KEYED PRIVACY LOCK, LATCH, KICKPLATES			
P07	С	НМ		7'-0"	3'-0"	PT	4	НМ	PT	CLOSER, KEYED LOCK, LATCH,			

#### DOOR ASSEMBLY AND HARDWARE NOTES:

- 1. DOOR ASSEMBLY TO BE FACTORY-FINISH WITH HIGH PERFORMANCE COATING AND/OR PAINTED AS DIRECTED BY ARCHITECT.
- 2. DOOR HARDWARE NOTES:
- ADJUST DOOR CLOSERS TO CLOSE FROM AN OPEN POSITION OF 90 DEGREES TO 12 DEGREES TO LATCH IN NOT LESS THAN 5 SECONDS. DOOR CLOSURES SHALL BE ADJUSTABLE HYDRAULIC.
- HARDWARE, SUCH AS HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS, CABINETS AND FIXTURES SHALL HAVE A LEVER OR OTHER SHAPE THAT PERMITS OPERATION BY WRIST OR ARM PRESSURE AND DOES NOT REQUIRE TIGHT GRASP, PINCH OR TWIST TO OPERATE.
- PANIC HARDWARE SHALL BE MOUNTED AT A HEIGHT OF 30" MIN TO 44" MAX AND UNLATCH AT A FORCE OF 15 POUNDS MAX WHEN APPLIED IN THE DIRECTION OF TRAVEL.
- EXIT DOORS SHALL BE PIVOTED, BALANCED OR SIDE-HINGED SWINGING TYPE AND SHALL SWING TO A FULLY OPEN POSITION WITH A FORCE NOT TO EXCEED 10 POUNDS FOR EXTERIOR SWING DOORS AND 5 POUNDS FOR INTERIOR SWING DOORS.
- THRESHOLD SHALL NOT EXCEED 1/2" HEIGHT FROM DOORWAY LANDINGS AND SHALL INTEGRATE A 45 DEGREE SLOPED TRANSITION FOR THE TOP 1/4" SECTION OF TRANSITION.
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL
- KNOWLEDGE OR EFFORT. THE UNLATCHING SHALL NOT REQUIRE MORE THAN ONE OPERATION OPAQUE DOOR U-FACTOR SHALL BE 0.60 PER NFRC TEST. INSULATED METAL & SOLID CORE
- WOOD DOORS ARE CONSIDERED COMPLIANT PER CH. 10 OF SEC.
- INSULATED DOOR ASSEMBLIES INCLUDE INSULATED DOOR PANEL(S), CONTINUOUS GASKET SEALS AND SWEEPERS, INSULATED OR GROUTED HM FRAME.
- DOOR HARDWARE ASSEMBLY TO INCLUDE DOOR STOPS.
- ELECTRIC STRIKE LOCKSET W/ CLOSER, ILO OF STANDARD HARDWARE. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

#### >>>CAUTION - CALL 811< **| UTILITY NOTIFICATION CENTER| BEFORE YOU DIG!**

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#### rolluda architects

architecture planning interior design

#### 100% Submission





**HING HAY PARK** 

#### **COMFORT STATION RENOVATION**

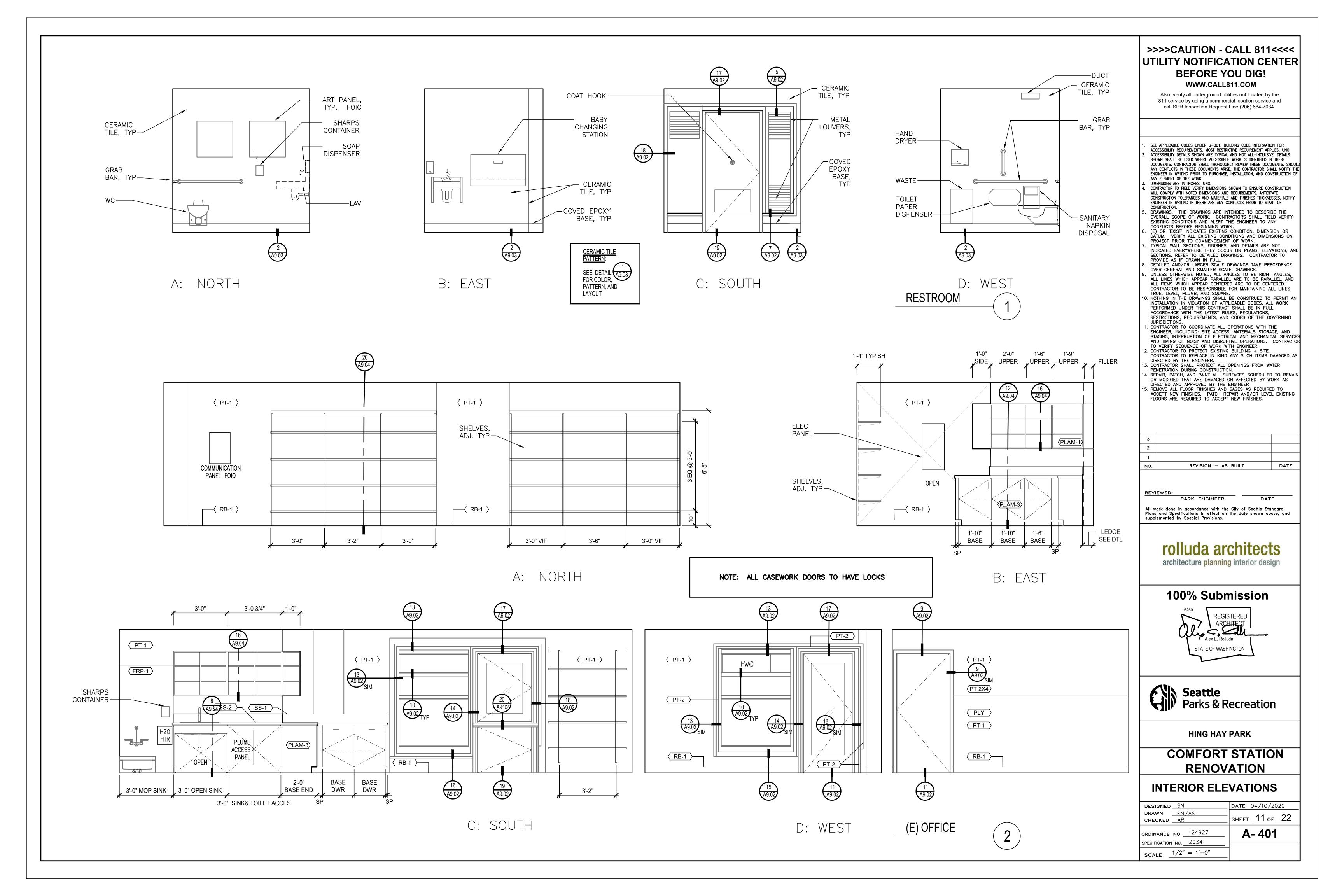
**SCHEDULES** 

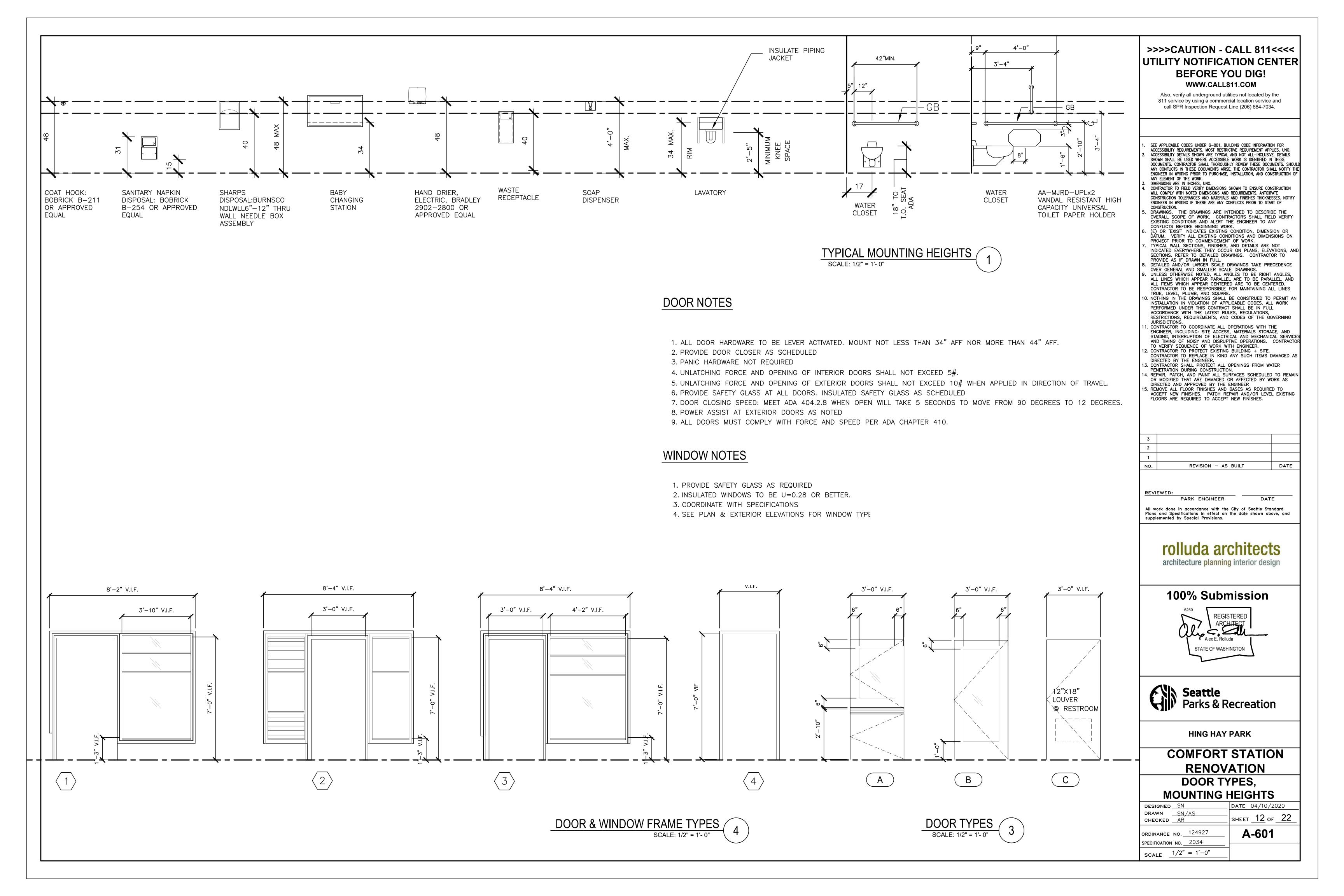
**DATE** 04/10/2020 designed SN DRAWN SN/AS
CHECKED AR SHEET <u>10</u> OF <u>22</u>

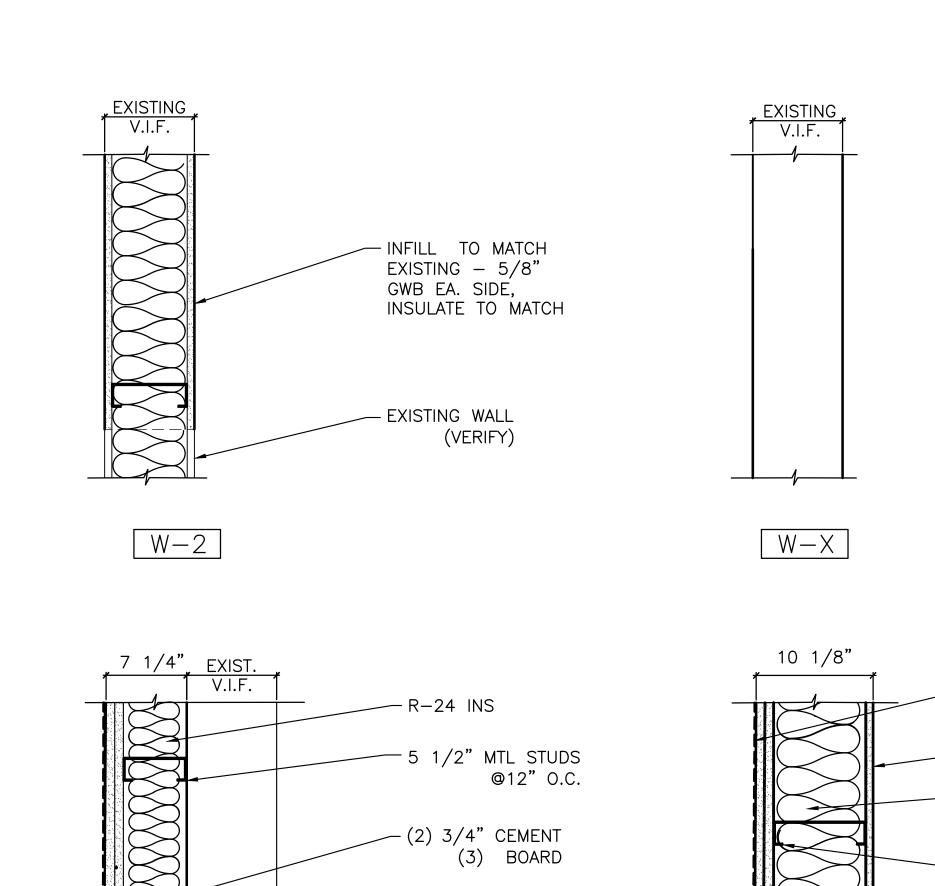
ordinance no. \_ 124927 SPECIFICATION NO. 2034

SCALE

A-301



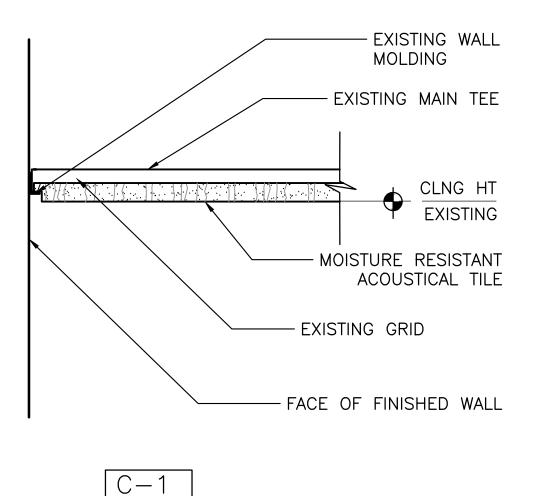


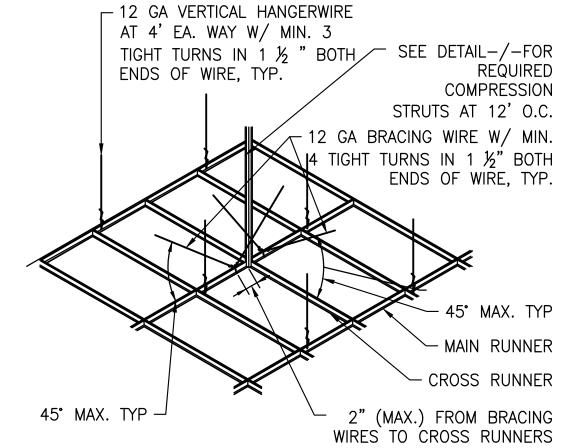


CERAMIC TILE

WHERE SCHEDULED

W-3





#### SUSP CEILING SUPP & BRACING

SUSP CEILING SUPP & BRACING

 $_{\square}$  (2) NO. 12 GAGE WIRE HANGERS CONNECTED FROM THE FIXTURE HOUSING TO THE STRUCTURE (E) CEILING ABOVE. (THESE WIRES MAY BE SLACK ) -4" ROCKWOOL INSUL. R-16 CLNG HT 5/8" TYPE CEMENT BOARD -4" MTL STUD @ 12" O.C.

FIXTURE SHALL BE POSITIVELY ATTACHED TO SUSPENDED CEILING SYSTEM WITH 1/2" LONG SELF-TAPPING SCREW OR APPROVED CLIP CAPABLE OF RESISTING 100% OF FIXTURE WEIGHT ACTING IN ANY DIRECTION. (2) PER FIXTURE, ONE AT EACH END. - NO. 12 GAGE WIRE FLUORESCENT LIGHT FIXTURE PER ELECTRICAL

(2) LIGHT FIXTURE / SUSP CLG

CEILING DETAILS

Plans and Specifications in effect on the date shown above, and

REVISION - AS BUILT

>>>CAUTION - CALL 811<

**| UTILITY NOTIFICATION CENTER|** 

**BEFORE YOU DIG!** 

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ENGINEER IN WRITING PRIOR TO PURCHASE, INSTALLATION, AND CONSTRUCTION OF

CONTRACTOR TO FIELD VERIFY DIMENSIONS SHOWN TO ENSURE CONSTRUCTION WILL COMPLY WITH NOTED DIMENSIONS AND REQUIREMENTS. ANTICIPATE

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O. NOTHING IN THE DRAWINGS SHALL BE CONSTRUED TO PERMIT A

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RESTRICTIONS, REQUIREMENTS, AND CODES OF THE GOVERNING

ENGINEER, INCLUDING: SITE ACCESS, MATERIALS STORAGE, AND

12. CONTRACTOR TO PROTECT EXISTING BUILDING + SITE.

CONTRACTOR TO REPLACE IN KIND ANY SUCH ITEMS DAMAGED AS

1. REPAIR, PATCH, AND PAINT ALL SURFACES SCHEDULED TO REMAIN

OR MODIFIED THAT ARE DAMAGED OR AFFECTED BY WORK AS

5. REMOVE ALL FLOOR FINISHES AND BASES AS REQUIRED TO ACCEPT NEW FINISHES. PATCH REPAIR AND/OR LEVEL EXISTING FLOORS ARE REQUIRED TO ACCEPT NEW FINISHES.

STAGING, INTERRUPTION OF ELECTRICAL AND MECHANICAL SERVICES

AND TIMING OF NOISY AND DISRUPTIVE OPERATIONS. CONTRACTO

ACCORDANCE WITH THE LATEST RULES, REGULATIONS,

TO VERIFY SEQUENCE OF WORK WITH ENGINEER.

CONTRACTOR TO COORDINATE ALL OPERATIONS WITH THE

3. CONTRACTOR SHALL PROTECT ALL OPENINGS FROM WATER

ANY ELEMENT OF THE WORK.

DIMENSIONS ARE IN INCHES, UNO.

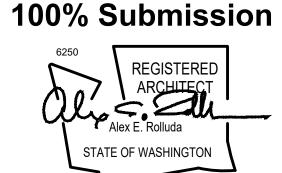
PROVIDE AS IF DRAWN IN FULL.

DIRECTED BY THE ENGINEER.

PENETRATION DURING CONSTRUCTION.

DIRECTED AND APPROVED BY THE ENGINEER

#### rolluda architects architecture planning interior design





**HING HAY PARK** 

#### **COMFORT STATION RENOVATION DETAILS**

**DATE** 04/10/2020 designed SN DRAWN SN/AS
CHECKED AR SHEET <u>13</u> OF <u>22</u> A-901 ORDINANCE NO. 124927 SPECIFICATION NO. 2034 SCALE VARIES

WALL TYPE SCHEDULE

SCALE: 1 1/2" = 1'- 0"

3

CEILING TYPE SCHEDULE SCALE: 3" = 1'- 0"

#### WALL ASSEMBLY NOTES

W-1

1. MAXIMUM VERTICAL STUD SPACING SHALL BE 16" ON CENTER.

- CERAMIC TILE

-R-25 ROCKWOOL

-8" MTL STUD @

- VAPOR BARRIER

-(2) 3/4" CEMENT

(3) BOARD

INSUL.

12" O.C.

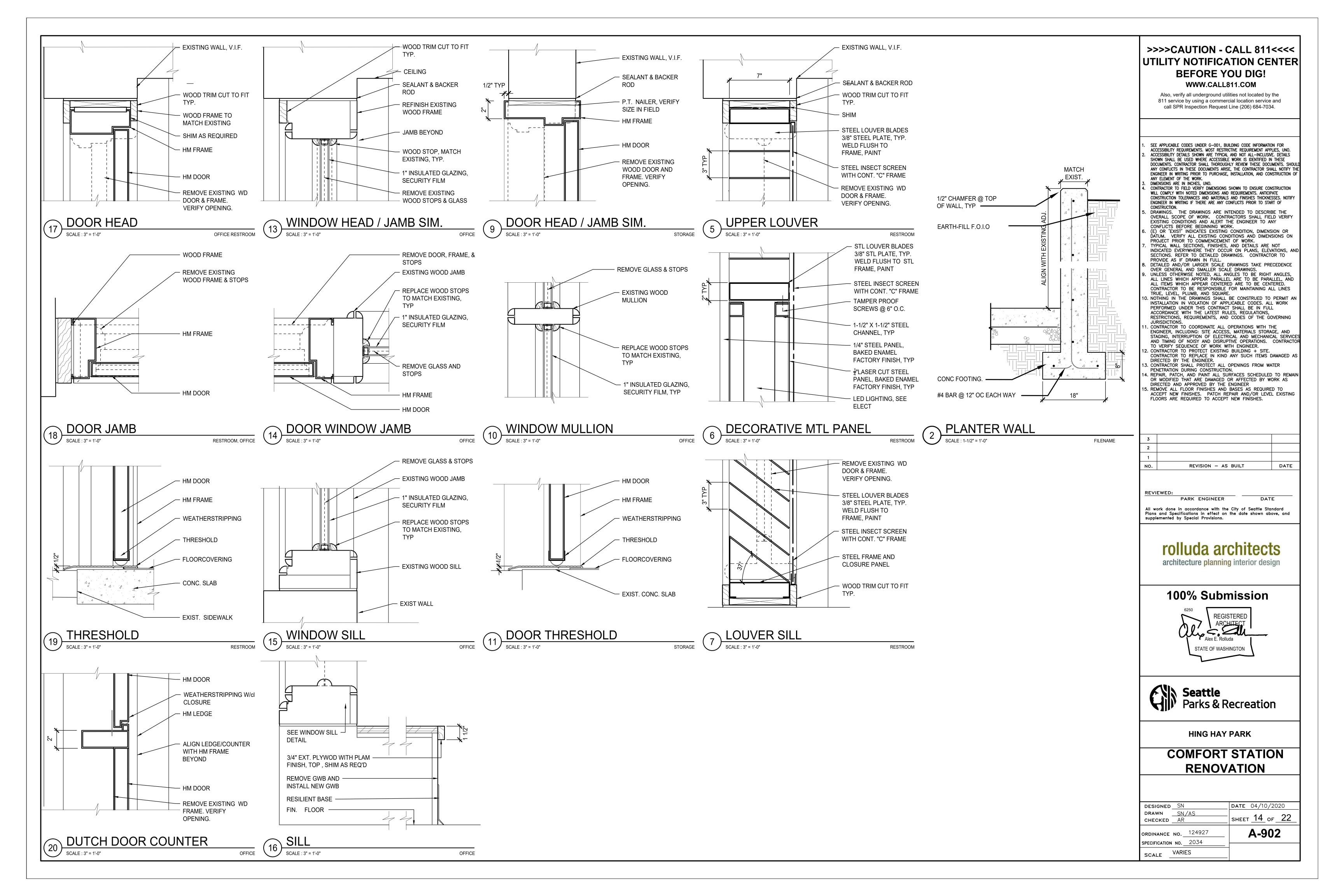
5/8" GWB

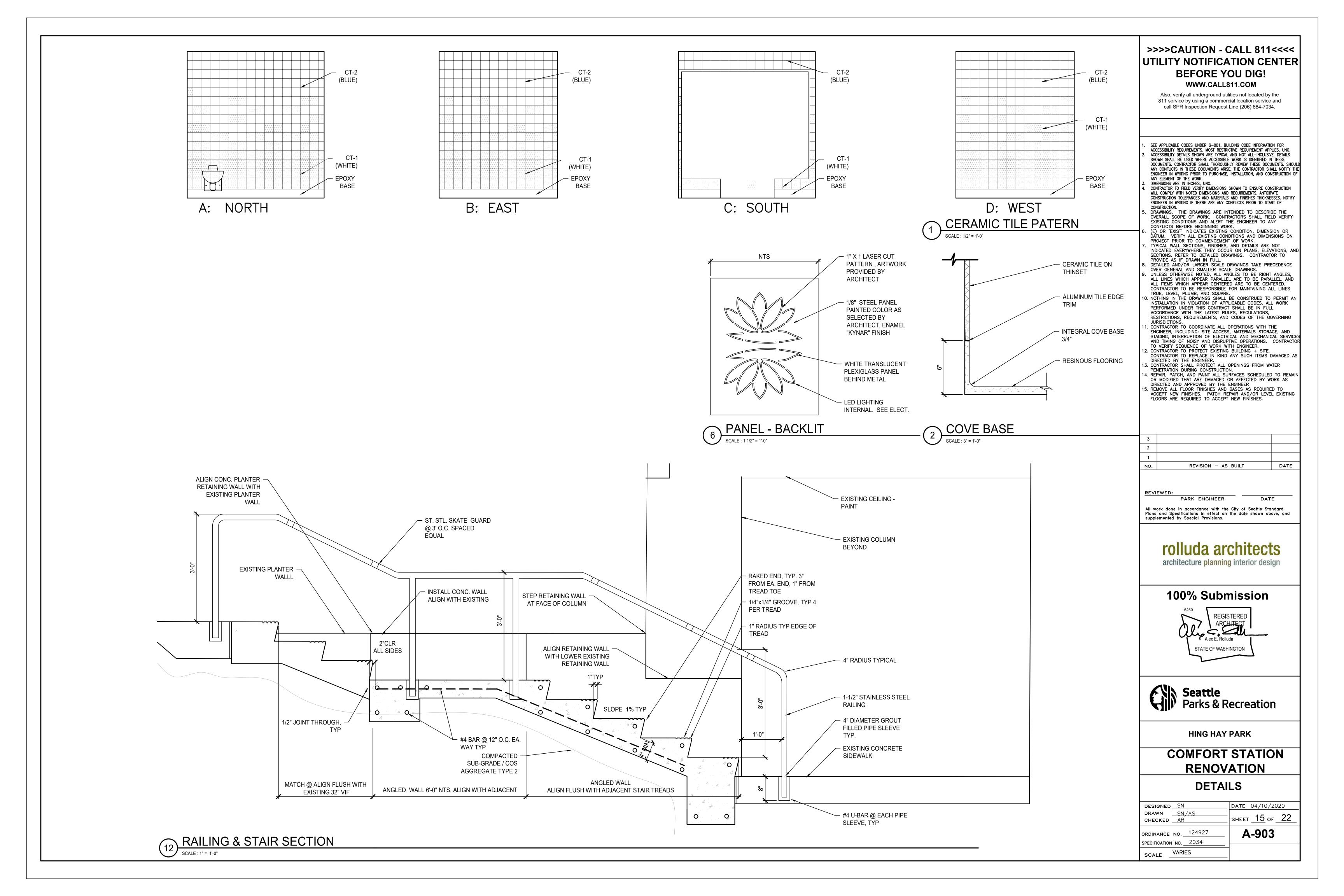
WHERE SCHEDULED

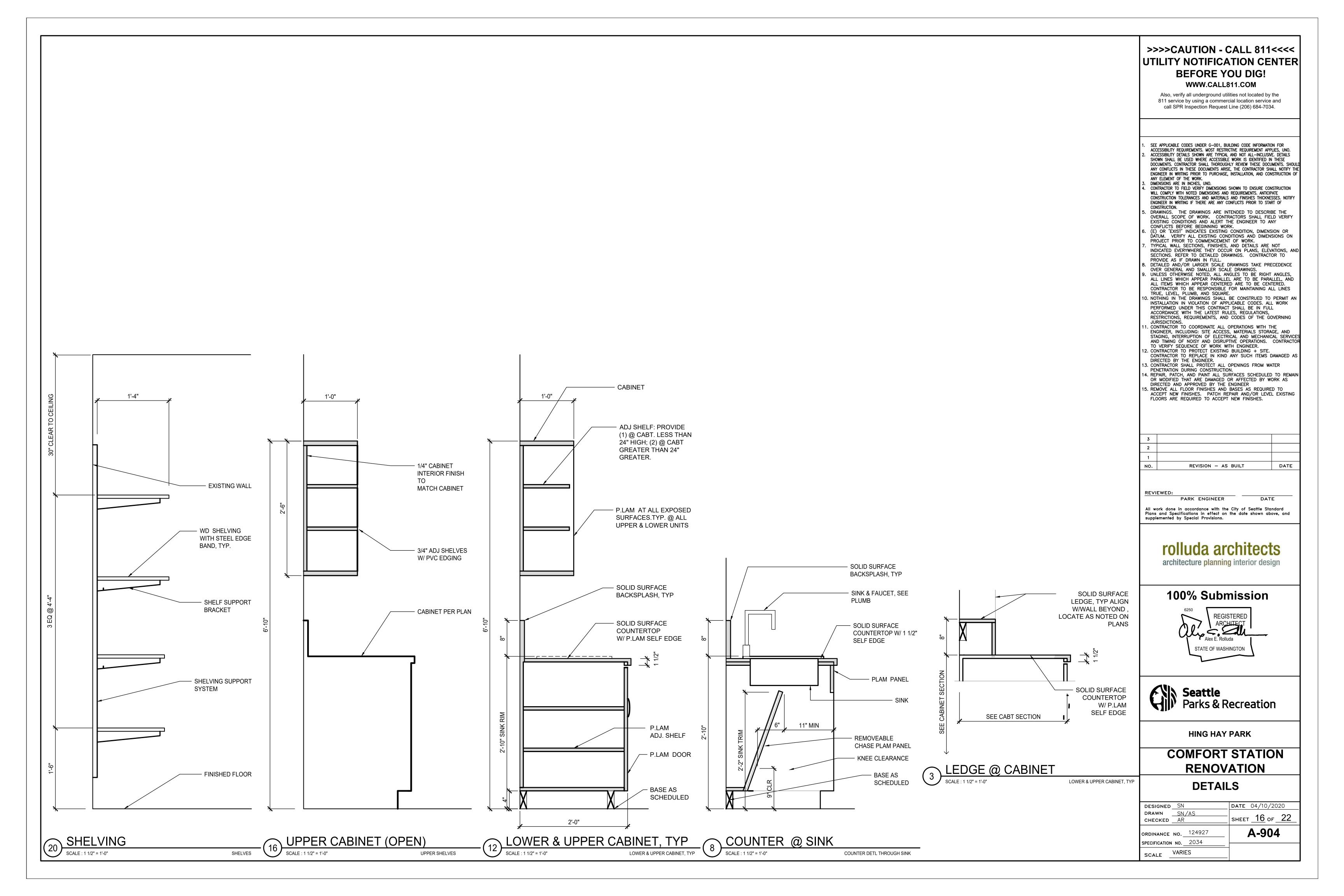
- 2. PROVIDE SUFFICIENT BLOCKING IN WALLS FOR SUPPORT OF COUNTERS, CABINETS, TOILET ACCESSORIES, SHELVING, INTERIOR AND EXTERIOR FINISHES, ETC., AS REQUIRED.
- 3. INSTALL FIRE BLOCKING AND DRAFT STOPPING PER 2015 SBC, CHAPTER 7, SECTION 708.
- 4. AT FIRE RATED WALL OR CEILING ASSEMBLIES WHERE PENETRATIONS FOR MECHANICAL, ELECTRICAL OR PLUMBING OCCUR, PROVIDE APPROVED THRU-PENETRATION FIRE STOP ASSEMBLIES. MAINTAIN REQUIRED RATING OF ASSEMBLIES.
- 5. ALL PARTITIONS EXTEND TO THE UNDERSIDE OF STRUCTURE, UNO.
- 6. PROVIDE WATER RESISTANT GYPSUM WALL BOARD AT ALL WALLS IN WET LOCATIONS.
- 7. WHERE WALLS EXTEND TO UNDERSIDE OF IRREGULAR STRUCTURE, SUCH AS UNDERSIDE OF METAL DECK OR BETWEEN TRUSSES, GWB SHALL BE SCRIBED TO MATCH PROFILE.
- 8. PROVIDE IMPACT RESISTANT GWB ON ALL WALLS IN NON-WET LOCATIONS.

\A-901

WALL PARTITION TYPES







WINE	PLUMBING FIXTURE SCHEDULE  FIXTURE STATUS LOCAL PIPING CONNECTION NOTES							UNIT
NO	FIXTURE	DESCRIPTION/MANUFACTURER/MODEL NUMBERS	W	V V	CW	HW	NOTES	NO.
P-1	WATER CLOSET	TYPE, MFR., MODEL: WALL HUNG, FLUSH VALVE; ACORN, #M2105-E500-W-1-CN-HS-W03 VALVE: ROYAL PUSH BUTTON FLUSH VALVE, #605, 3.5 GALLON FLUSHOMETER, ADA, SEAT: OPEN FRONT, SOLID PLASTIC WHITE SEAT; BEMIS OR ACORN HANGER: VERTICAL COMPACT SUPPORT	4*	2"	1"	-	HANDICAPPED	NOTES:
		MISCELLANEOUS: FLUSH CONTROL SHALL BE MOUNTED FOR USE FROM WIDE SIDE OF WATER CLOSET AREA, FITTINGS: WADE BRASS CONNECTOR HANDICAPPED — MOUNTING HEIGHT FROM FLOOR TO TOP OF SEAT SHALL BE A MAXIMUM OF 19" AND MINIMUM OF 17"		4 4 /0"	4 (0%	1 (02)		
9-2	LAVATORY	TYPE, MFR., MODEL: WALL HUNG, SINGLE-HOLE, ACORN #1953-ADA-1-9-H1-GE FAUCET: CHICAGO, METERING VALVES WITH PUSH BUTTON HANDLE, 2.2 GPM AERATOR, TRAP & TAILPIECE: MCGUIRE OR EQUAL, 1-1/2" CHROME PLATED CAST BRASS P-TRAP WITH CLEANOUT AND TAILPIECE SUPPLIES: LOOSE KEY QUARTER-TURN BALL STOP WITH FLEXIBLE BRAIDED STAINLESS STEEL RISERS; BRASSCRAFT HANGER: FLOOR-MOUNTED WITH CONCEALED ARMS. MISCELLANEOUS: PROVIDE INSULATION ON TRAP AND SUPPLIES PER SPECIFICATIONS	2"	1-1/2"	1/2"	1/2"	HANDICAPPED	
2–3	SINK	TOP MOUNTED, ELKAY 18" X 24" X 6" DEEP, ADA FAUCETS: 8" CENTERS, SINGLE WING HANDLES, GOOSENECK SPOUT, BASKET STRAINER. CHICAGO FAUCETS NO. 1100—GN8AE3—317AB. 2.2 GPM VANDAL RESISTANT AERATOR. TRAPS & TAILPIECES: McGUIRE, OR EQUAL, 1-1/2" CHROME PLATED CAST BRASS P-TRAP AND TAILPIECE SUPPLIES: BRASSCRAFT NO. SCR3912AC, OR EQUAL BY McGUIRE OR EASTMAN. LOOSE KEY COMPRESSION STOPS AND FLEX SUPPLIES MISCELLANEOUS: PROVIDE WITH GARBAGE DISPOSER, CONTINUOUS FEED, COMPLETE WITH STAINLESS STEEL GRINDING COMPONENTS AND STAINLESS STEEL SINK FLANGE: WASTEKING LEGEND NO. 9930, 1/2 HP, 120V	2"	1-1/2"	1/2"	1/2"		
P-4	SINK	FREE STANDING, DOUBLE COMPARTMENT, 16-GA. STAINLESS STEEL, OVERALL 89"x29" ELKAY RNSF8248LR. FAUCETS: 8" CENTERS, SINGLE WING HANDLES, GOOSENECK SPOUT, BASKET STRAINER. CHICAGO FAUCETS NO. 445-DJ26ABCP 2.2 GPM VANDAL RESISTANT AERATOR. TRAPS & TAILPIECES: McGUIRE, OR EQUAL, 1-1/2" CHROME-PLATED CAST BRASS P-TRAP WITH CLEANOUT & TAILPIECE. SUPPLIES: LOOSE KEY QUARTER-TURN BALL STOP WITH FLEXIBLE BRAIDED STAINLESS STEEL RISERS; BRASSCRAFT	2"	1-1/2"	1/2"	1/2"	PROVIDE JR SMITH 8710T SEDIMENT TRAP (LOCATE INSIDE OF BUILDING)	
P-5	SERVICE SINK	TYPE, MFR., MODEL: FLOOR MOUNT, 24"x24", ONE PIECE, FIAT, TTB242401, 24X24X10, GRAY FAUCET: ADJUSTABLE INLETS, VACUUM BREAKER SPOUT, PAIL HOOK WITH WALL SUPPORT, INTEGRAL STOPS, 3/4" HOSE THREAD OUTLET; ZURN FAUCETS NO. Z843M1—RC TRAP & TAILPIECE: PROVIDED WITH UNDERGROUND WASTE PIPING. SUPPLIES: INTEGRAL TO FAUCET.	3"	2"	3/4"	3/4"	FLOOR MOUNTED	UNIT LO
		MISCELLANEOUS: PROVIDE SERVICE SINK WITH STAINLESS STEEL WALL GUARDS, 30" LONG 3/4" HOSE AND HOSE BRACKET AND STAINLESS STEEL MOP HANGER. SEAL SEAM BETWEEN SERVICE SINK AND WALL WITH SILICONE SEALANT			- / 429			DCT-1 E
P-7	FREEZELESS WALL HYDRANT	QUARTER-TURN, NON-FREEZE WALL HYDRANT WITH INTEGRAL VACUUM BREAKER AND STAINLESS STEEL BOX, LOOSE KEY, HINGED LOCKING COVER, ADJUSTABLE WALL CLAMP, NICKEL-BRONZE BOX FACE; JAY R SMITH 5509QT	_	_	3/4"	_		DCT-2 IN WIN
P-9	TRAP PRIMER	FLUSH-MTD ELECTRONIC TRAP PRIMING ASSEMBLY IN STL CABT WITH ATMOSPHERIC VACUUM BREAKER, PRE-SET 24-HOUR CHANGE, MANUAL OVERRIDE SWITCH, SOLENOID VALVE,	<u>-</u>	<u> </u>	3/4"	_		NOTES:
								3. THE COI 4. THE DIS 5. INS
								J. 1143
								1. INS. 2. REF

#### ELECTRIC WATER HEATER SCHEDULE

#### RECOVERY @ 100° F | EFFICIENCY | TANK ELECTRICAL LOCATION MFR MODEL ELEMENT TEMPERATURE SIZE NOTES VOLT PH KW WALL **TABCO** 7-PS-92 95 NA 120

ASME RATED

TABCO OR APPROVED EQUAL EFFICIENCY SHALL MEET THE MINIMUM REQUIREMENTS ON WSEC C404.2



#### MECHANICAL EQUIPMENT SCHEDULE

UNIT	LOCATION	N MFR MODEL SEER REFRIG AMP STAR BTUH							BTUH ELECTRICAL		NOTES	
NO.	LOCATION	MILK	MODEL	<u>JLLIN</u>	REFRIG	AMI	SIAK	БІОП	VOLT	PH	NOTES	
DCT-1	EXTERIOR WALL MT	PANASONIC	CU-XE9SKUA	3	R410A	3.5	YES	8700	208	1		
DCT-2	INTERIOR WINDOW MT	PANASONIC	CS-XE9SKUA	3	R410A	2.4	YES	-	208	1		
F1	CEILING RESTROOM	PANASONIC	FV-15N-F561	1	1	0.41	YES	-	120	1	150 CFM	

ASME RATED OR APPROVED EQUAL

#### GENERAL FIRE PROTECTION NOTES

- OPE OF WORK INCLUDES MODIFYING EXISTING FIRE SPRINKLER SYSTEM TO ACCOUNT FOR THE VISIONS SHOWN ON THE ARCHITECTURAL DRAWINGS AS REQUIRED BY NFPA 13. THIS SHALL CLUDE BUT NOT BE LIMITED TO MAKING ADJUSTMENTS TO SPRINKLER HEAD LOCATIONS AND JANTITY TO ACCOUNT FOR THE INSTALLATION OF NEW WALL, CEILINGS, AND THE REMOVAL OF ISTING WALLS AND CEILINGS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR BID IN ORDER TO UNDERSTAND THE EXACT SCOPE OF WORK.
- ROJECT SCOPE IS TO MODIFY THE EXISTING SYSTEM SO THAT BUILDINGS AREAS MODIFIED BY THIS
- ROJECT ARE COVERED BY NFPA 13
- ESE DRAWINGS ARE CONCEPTUAL AND INFORMATIONAL AND BIDDING PURPOSES ONLY.

3. EFFICIENCY SHALL MEET THE MINIMUM REQUIREMENTS ON WSEC C404.2

- NTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO BID FIRE SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION WITH ALL
- STALLATION SHALL COMPLY WITH ALL GOVERNING CODES AND (LOCAL AND STATE).

#### GENERAL HVAC NOTES

- STALLATION SHALL COMPLY WITH ALL GOVERNING CODES AND REGULATIONS. FER TO ARCHITECTURAL DRAWING. LOCATE THERMOSTATS, PANELS, ETC. SO THEY DO NOT
- ONFLICT WITH GENERAL CONSTRUCTION
- OUNT THERMOSTATS 48" U.O.N FER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF MECHANICAL EQUIPMENT
- RRANGE HVAC EQUIPMENT SO THAT ACCESS CLEARANCES, REQUIRED CODES, AND MANUFACTURER COMMENDATIONS ARE PROVIDED. CENTER IN CEILING TILES, CENTER IN ROOMS, OR WHERE
- DICATED ON ARCHITECTURAL DRAWINGS. FER TO ELECTRICAL DRAWINGS FOR ADDITIONAL WORK
- RIFY ELECTRICAL REQUIREMENTS DURING SUBMITTAL PROCESS.
- OVIDE FIRE DAMPERS THROUGH RATED WALLS AND CEILINGS NNECT RESTROOM EXHAUST TO EXISTING RESTROOM EXHAUST AND IN CENTER OF ROOMS
- EAL AND LEAK TEST DUCTWORK LANCE AND COMMISSION HVAC
- OVIDE RECORD DRAWINGS AT END OF PROJECT
- ORDINATE DEMOLITION WITH OTHER WORK OVIDE ALL DEMOLITION AS REQUIRED FOR NEW WORK
- ATCH ALL FLOORS, WALLS, CEILINGS, AND BUILDING ELEMENTS DISTURBED BY WORK. RETURN TO
- RIGINAL CONDITION

#### >>>CAUTION - CALL 811< **|UTILITY NOTIFICATION CENTER| BEFORE YOU DIG!**

WWW.CALL811.COM

Also, verify all underground utilities not located by the 811 service by using a commercial location service and call SPR Inspection Request Line (206) 684-7034.

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RESTRICTIONS, REQUIREMENTS, AND CODES OF THE GOVERNING

- 12. CONTRACTOR TO PROTECT EXISTING BUILDING + SITE. CONTRACTOR TO REPLACE IN KIND ANY SUCH ITEMS DAMAGED AS DIRECTED BY THE ENGINEER.
- 13. CONTRACTOR SHALL PROTECT ALL OPENINGS FROM WATER PENETRATION DURING CONSTRUCTION. 14. REPAIR, PATCH, AND PAINT ALL SURFACES SCHEDULED TO REMAIN
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FLOORS ARE REQUIRED TO ACCEPT NEW FINISHES.

3		
2		
1		
NO.	REVISION - AS BUILT	DATE

**REVIEWED:** 

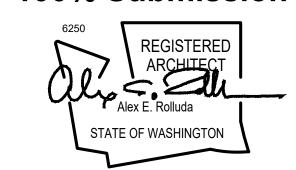
PARK ENGINEER

All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.

DATE

architecture planning interior design

100% Submission



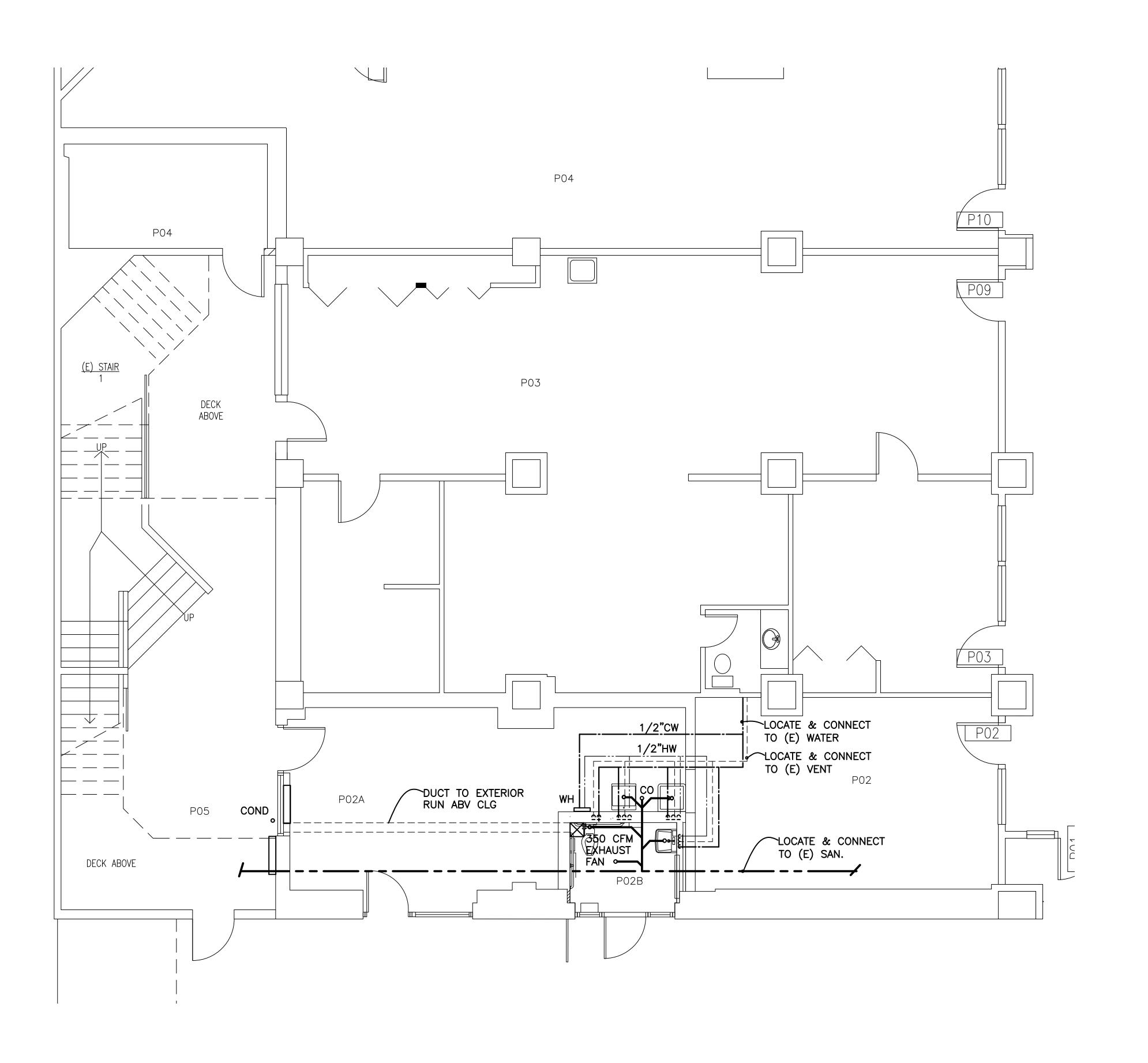


HING HAY PARK

**COMFORT STATION** RENOVATION

NOTES, SCHEDULES

designed SN	DATE 04/10/2020
drawn <u>SN</u> /AS	SHEET 17 OF 22
CHECKED AR	SHEET 17 OF ZZ
ordinance no. 124927	MP-001
SPECIFICATION NO. 2034	
SPECIFICATION NO	



MECHANCIAL & PLUMBING PLAN

SCALE: 1/4" = 1'-0"

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3		
2		
1		
NO.	REVISION - AS BUILT	DATE

REVIEWED:

PARK ENGINEER DATE

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#### rolluda architects

architecture planning interior design





HING HAY PARK

# COMFORT STATION RENOVATION

**PLANS** 

designed SN	DATE 04/10/2020
drawn <u>SN/AS</u> checked <u>AR</u>	
ORDINANCE NO. 124927	MP-101
SPECIFICATION NO. 2034	_

SCALE 1/4" = 1'-0"

PLUMBING FIXTURE SCHEDULE									El	EC	TRIC V	VATER	RHEA	TER	SCHE	DULE		$\prod$
FIXTURE NO	TURE PESCRIPTION/MANUFACTURER/MODEL NUMBERS  LOCAL PIPING CONNECTION  W V CW HW							UNIT NO.	LOCATIO	N MFF	R MODE	ELECTRIC ELEMENT KW	RECOVERY TEMPEI RI	∕ <b>©</b> 100° F RATURE SE	EFFICIENCY (%)	TANK SIZE (GAL) VOLT P	NOTES	]  u
P-1		TYPE, MFR., MODEL: WALL HUNG, FLUSH VALVE; ACORN, #M2105-E500-W-1-CN-HS-W03 VALVE: ROYAL PUSH BUTTON FLUSH VALVE, #605, 3.5 GALLON FLUSHOMETER, ADA, SEAT: OPEN FRONT, SOLID PLASTIC WHITE SEAT; BEMIS OR ACORN HANGER: VERTICAL COMPACT SUPPORT MISCELLANEOUS: FLUSH CONTROL SHALL BE MOUNTED FOR USE FROM WIDE SIDE OF WATER CLOSET AREA, FITTINGS: WADE BRASS CONNECTOR HANDICAPPED - MOUNTING HEIGHT FROM FLOOR TO TOP OF SEAT SHALL BE A MAXIMUM OF 19" AND MINIMUM OF 17"	4*	2"	1"	-	HANDICAPPED	HWT-1 NOTES:	2. TAE		PPROVED EQU		N. EQUIREMENT		<b>95</b> C404.2	NA 120 1	1	
P-2		TYPE, MFR., MODEL: WALL HUNG, SINGLE-HOLE, ACORNM #1953-ADA-1-9-H1-GE FAUCET: CHICAGO, TIP TP FAUCET, #409-E12, 2.2 GPM AERATOR, TRAP & TAILPIECE: MCGUIRE OR EQUAL, 1-1/2" CHROME PLATED CAST BRASS P-TRAP WITH CLEANOUT AND TAILPIECE SUPPLIES: LOOSE KEY QUARTER-TURN BALL STOP WITH FLEXIBLE BRAIDED STAINLESS STEEL RISERS; BRASSCRAFT HANGER: FLOOR-MOUNTED WITH CONCEALED ARMS. MISCELLANEOUS: PROVIDE INSULATION ON TRAP AND SUPPLIES PER SPECIFICATIONS	2"	1-1/2"	1/2"	1/2"	HANDICAPPED											1.
P-3		TOP MOUNTED, ELKAY 18" X 24" X 6" DEEP, ADA FAUCETS: 8" CENTERS, SINGLE WING HANDLES, GOOSENECK SPOUT, BASKET STRAINER. CHICAGO FAUCETS NO. 1100-GN8AE3-317AB. 2.2 GPM VANDAL RESISTANT AERATOR. TRAPS & TAILPIECES: McGUIRE, OR EQUAL, 1-1/2" CHROME PLATED CAST BRASS P-TRAP AND TAILPIECE SUPPLIES: BRASSCRAFT NO. SCR3912AC, OR EQUAL BY McGUIRE OR EASTMAN. LOOSE KEY COMPRESSION STOPS AND FLEX SUPPLIES MISCELLANEOUS: PROVIDE WITH GARBAGE DISPOSER, CONTINUOUS FEED, COMPLETE WITH STAINLESS STEEL GRINDING COMPONENTS AND STAINLESS STEEL SINK FLANGE: WASTEKING LEGEND NO. 9930, 1/2 HP, 120V	2"	1-1/2"	1/2"	1/2"												3. 4.
P-4	SINK	FREE STANDING, DOUBLE COMPARTMENT, 16-GA. STAINLESS STEEL, OVERALL 89"x29" ELKAY RNSF8248LR. FAUCETS: 8" CENTERS, SINGLE WING HANDLES, GOOSENECK SPOUT, BASKET STRAINER. CHICAGO FAUCETS NO. 445-DJ26ABCP 2.2 GPM VANDAL RESISTANT AERATOR. TRAPS & TAILPIECES: McGUIRE, OR EQUAL, 1-1/2" CHROME-PLATED CAST BRASS P-TRAP WITH CLEANOUT & TAILPIECE. SUPPLIES: LOOSE KEY QUARTER-TURN BALL STOP WITH FLEXIBLE BRAIDED STAINLESS STEEL RISERS; BRASSCRAFT	2"	1-1/2*	1/2"	•	PROVIDE JR SMITH 8710T SEDIMENT TRAP (LOCATE INSIDE OF BUILDING)		N A I		Λ NII <u></u> Λ	J FOI	HIDM	ENIT	SCHEI			5.
P-5 SERVICE SINK TYPE, MFR., MODEL: FLOOR MOUNT, 24"x24", ONE PIECE, ENAMELED CAST IRON, ELJER NO. 242-0050  TYPE, MFR., MODEL: FLOOR MOUNT, 24"x24", ONE PIECE, ENAMELED CAST IRON, ELJER NO. 242-0050  FAUCET: ADJUSTABLE INLETS, VACUUM BREAKER SPOUT, PAIL HOOK WITH WALL SUPPORT, INTEGRAL STOPS, 3/4" HOSE THREAD OUTLET; ZURN FAUCETS NO. Z843M1-RC  SUPPLIES: INTEGRAL TO FAUCET.  MISCELLANEOUS: PROVIDE SERVICE SINK WITH STAINLESS STEEL WALL GUARDS, 30" LONG 3/4" HOSE AND HOSE BRACKET AND STAINLESS STEEL MOP HANGER.  TYPE, MFR., MODEL: FLOOR MOUNT, 24"x24", ONE PIECE, ENAMELED CAST IRON, ELJER NO. 242-0050  WICH CHANGE IN COMMITTED  TYPE, MFR., MODEL: FLOOR MOUNT, 24"x24", ONE PIECE, ENAMELED CAST IRON, ELJER NO. 242-0050  WICH CHANGE IN COMMITTED  TO A SERVICE SINK WITH STAINLESS STEEL WALL GUARDS, 30" LONG 3/4" HOSE AND HOSE BRACKET AND STAINLESS STEEL MOP HANGER.						FLECTRIC	PH NOTES	= 6. 7.										
P-7	FREEZELESS WALL HYDRANT	QUARTER-TURN, NON-FREEZE WALL HYDRANT WITH INTEGRAL VACUUM BREAKER AND STAINLESS STEEL BOX, LOOSE KEY, HINGED LOCKING COVER, ADJUSTABLE WALL CLAMP, NICKEL-BRONZE BOX FACE; JAY R SMITH 5509QT	-	-	3/4"	-		DCT-2	INTERIOR INTERIOR MNDOW MT CEILING RESTROOM	PANASONI	C CS-XE9SK	JA 3	R410A	2.4	YES YES	- 208 1 - 120 1	1 150 CFM	-   8. 9.
P-9	TRAP PRIMER MANIFOLD	FLUSH-MTD ELECTRONIC TRAP PRIMING ASSEMBLY IN STL CABT WITH ATMOSPHERIC VACUUM BREAKER, PRE-SET 24-HOUR CHANGE, MANUAL OVERRIDE SWITCH, SOLENOID VALVE, 3/4" CONNECTION; PRIMETIME PT-4 4-VALVE UNIT, PT-6 6-VALVE UNIT, AS REQUIRED. PROVIDE ACCESS DOOR TO SUIT LOCATION. POWER CONNECTION 0.33 AMPS 120/1ø.	-	-	3/4"	_		NOTES:	2. OR	ME RATED APPROVE CICIENCY S		HE MINIMUM R	EQUIREMENT	S ON WSEC	C404.2			] 10.

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  DRAWINGS THE DRAWINGS ARE INTENDED TO DESCRIBE THE
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  14. REPAIR, PATCH, AND PAINT ALL SURFACES SCHEDULED TO REMAIN OR MODIFIED THAT ARE DAMAGED OR AFFECTED BY WORK AS
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NO.	REVISION — AS BUILT	DATE

REVIEWED:

JURISDICTIONS.

PARK ENGINEER DATE

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#### olluda architects

architecture planning interior design

#### 100% Submission



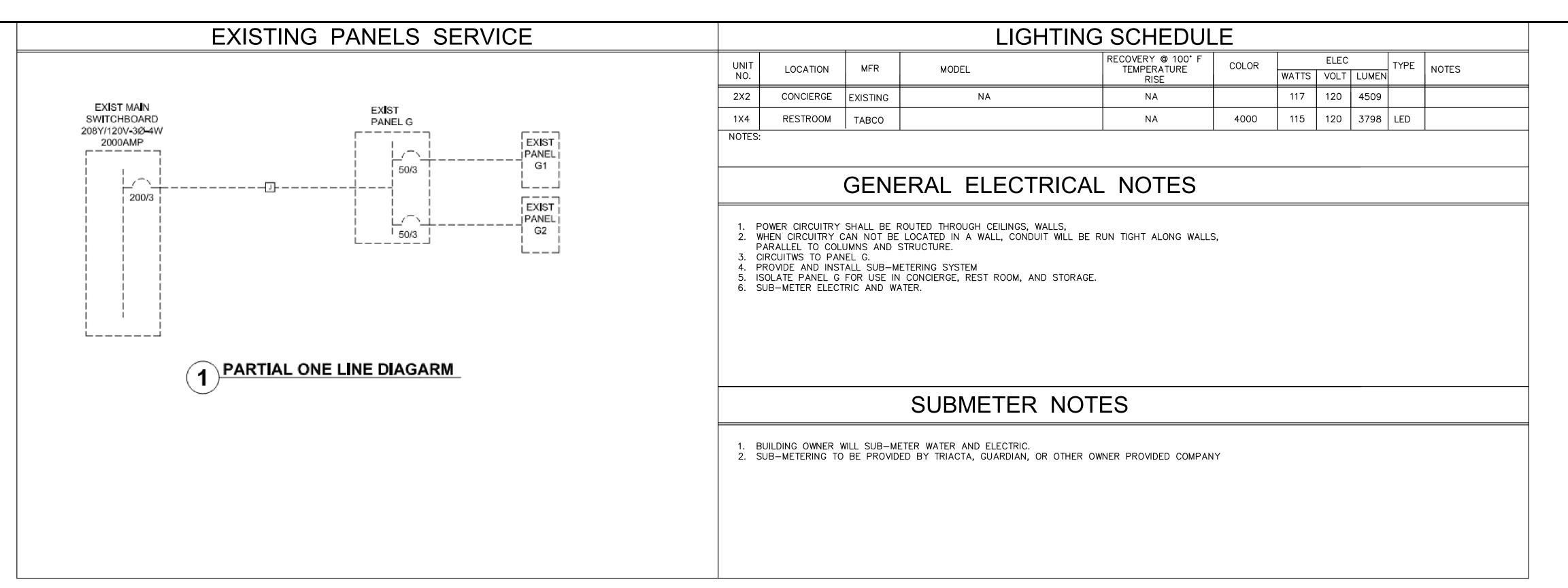


HING HAY PARK

COMFORT STATION RENOVATION

**PLANS** 

designed SN	DATE 04/10/2020
drawn <u>SN/AS</u>	10 22
CHECKED AR	SHEET 19 OF 22
ordinance no. 124927	MP-301
SPECIFICATION NO. 2034	
SCALE1/4" = 1'-0"	-





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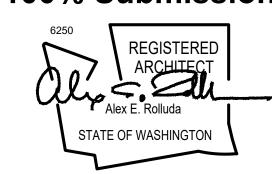
PARK ENGINEER DATE

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#### rolluda architects

architecture planning interior design

#### 100% Submission





**HING HAY PARK** 

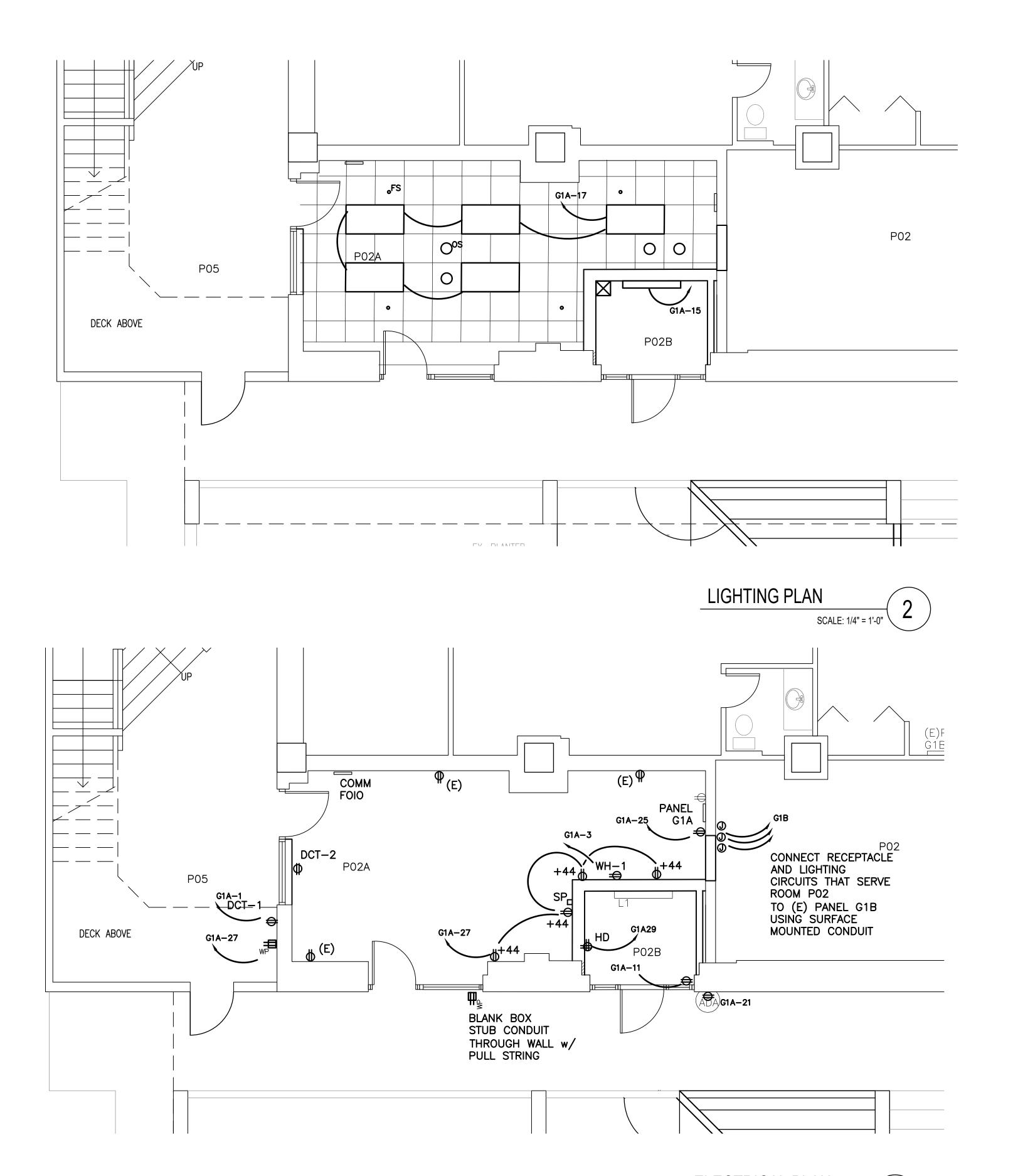
## COMFORT STATION RENOVATION

#### **SCHEDULES**

designed SN	DATE 04/10/2020
drawn <u>SN/AS</u>	20 22
CHECKED AR	_ sheet <u>20</u> of <u>22</u>
ordinance no. 124927	E-001
SPECIFICATION NO. 2034	

SCALE 1/4" = 1'-0"





#### ELECTRICAL PLAN SCALE: 1/4" = 1'-0"

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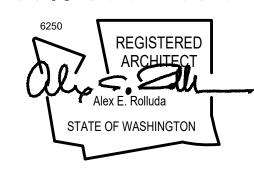
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#### rolluda architects

architecture planning interior design

#### 100% Submission





**HING HAY PARK** 

#### **COMFORT STATION RENOVATION**

#### **PLANS**

OBDINIANCE	No. 124927	F_101
CHECKED	AR	SHEET 21 OF 22
DRAWN	SN/AS	24 00
DESIGNED	SN	<b>DATE</b> 04/10/2020

SPECIFICATION NO. 2034

SCALE 1/4" = 1'-0"

[		

#### ELECTRICAL PANEL

1. POWER CIRCUITRY SHALL BE ROUTED THROUGH CEILINGS, WALLS,

EXISTING PANEL G

MISCELLANEOUS

KITCH APPLIANCES

- 2. WHEN CIRCUITRY CAN NOT BE LOCATED IN A WALL, CONDUIT WILL BE RUN TIGHT ALONG WALLS, PARALLEL TO COLUMNS AND STRUCTURE.
- 3. PROVIDE AND INSTALL BUILDING OWNER SUPPLIED SUB-METERING SYSTEM FOR WATER AND
- ELECTRICAL. ISOLATE CONCIERGE, REST ROOM, AND STORAGE. 4. REMOVE LIGHTING, MICROWAVE, AND RECEPTACLES FROM ADJACENT SPACE AND MOVE TO PANEL G1

VOLTS 208 / 120 3 PHASE, 4 WIRE, WYE

MOUNTING: SURFACE AIC 10.000 FED FROM MAIN DISCONNECT			AMPS 200 MAIN CIRCUIT BEAKER GROUND BUS				
CCT NO.	CCT BRKR	DESCRIPTION	LOAD KVA	CCT NO.	CCT BRKR	DESCRIPTION	LOAD KVA
				1	20/1	LIGHTS	1.00
1	20/1	LIGHTS	1.00	3	20/1	LIGHTS	1.00
3 5 7	20/1	LIGHTS	1.00	5 7	20/1	RECEPTS	0.54
5	20/1	RECEPTS	0.54		20/1	RECEPTS	0.54
7	20/1	RECEPTS	0.54	9	20/1	RECEPTS	0.54
9	20/1	RECEPTS	0.54	11	20/1	RECEPTS	0.54
11	20/1	RECEPTS	0.54	13	20/1	RECEPTS	0.54
13	20/1	RECEPTS	0.54	15	20/1	RECEPTS	0.54
15	20/1	RECEPTS	0.54	17	20/1	RECEPTS	0.54
17	20/1	RECEPTS	0.54	19	20/1	REFER	0.70
19	20/1	REFER	0.70	21	20/1	MICRO	1.00
21	20/1	MICRO	1.00	23	20/1	RECEPTS	0.18
23	20/1	RECEPTS	0.18	25	20/1	RECEPTS	0.36
25	20/1	RECEPTS	0.36	27	20/1	WALL HEATER	0.75
27	20/1	WALL HEATER	0.75	29	20/1	SPARE	0.00
29	20/1	SPARE	0.00	31	20/1	SPARE	0.00
31	20/1	SPARE	0.00	33	20/1	SPARE	0.00
33	20/1	SPARE	0.00	37	20/1	SPARE	0.00
37	20/1	SPARE	0.00	39	20/1	SPARE	0.00
39	20/1	SPARE	0.00	41	20/1	SPARE	0.00
41	20/1	SPARE	0.00		-		

#### CONNECTED LOAD DEMAND LOAD DEMAND FACTOR LOAD KVA KVA LIGHTS 5.00 17.35 6.25 RECEPTACLES 11.88 100% 11.88 32.98 0.75 100% 0.75 2.08 0.00 1.94 HEATING 0.70 0.70 1.00 1.70 22.28 0.00 0.70 LARGEST MOTOR 125% OTHER MOTORS 100% 1.00 1.70 21.03 100% 2.78

100%

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architecture planning interior design

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**HING HAY PARK** 

#### **COMFORT STATION RENOVATION**

#### **DETAILS**

designed SN	DATE 04/10/2020
drawn <u>SN/AS</u>	22 22
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